

RESOLUTION NO. 2003-7

RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF ROCKLIN GRANTING AN APPEAL AND
APPROVING A SPECIFIC PLAN USE PERMIT
(Springfield at Whitney Oaks Custom Lot Nos. 650, 651, & 772 - 779 / SPU-2000-02)

The City Council of the City of Rocklin does resolve as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. The Whitney Oaks Phase II subdivision was approved by the City Council in 1996. At the time it was approved, the City Council recognized that development of the subdivision would have an off-site visual impact. This impact was addressed in the environmental evaluation of the Whitney Oaks Planned Development and determined to be a "less than significant impact" as long as the homes were designed and built to conform to the Whitney Oaks Design Guidelines approved by the City Council. In addition, homes built on the "NG" lots were to be customized to preserve slopes and / or oak trees to the extent feasible, to the satisfaction of the Planning Commission through the Design Review (Specific Plan Use Permit) process.

B. The City Council, to further reduce the visual impacts on adjacent homes, restricted the building height on a number of lots in Whitney Oaks Phase II, including the lots that comprise the project. Specifically, the building heights on these lots were restricted to a maximum of 20 feet above the finish grade. To implement this standard a line is drawn parallel to and 20 feet above the finish grade as approved by the Planning Commission. No portion of the homes on these lots, with the exception of the chimney, may extend above this imaginary line.

C. Specific Plan Use Permit, SPU-2000-02 requests approval of house plans, grading, landscaping and fencing on fifteen lots in the Whitney Oaks Phase II, Units 28 A (Lots 647 - 651) and 28 B (Lots 772 - 780, & 785) subdivisions (the "Project"). Due to the complexity of the design issues specific to each of these lots the Planning Commission directed the applicant to bring these lots forward in smaller groups. Development upon the first five of these lots (Lots 647, 648, 649, 780, & 785) was approved by the City Council in 2000 by adoption of City Council Resolution No. 2000-277. The subject request seeks approval of home design and grading of the remaining ten custom lots.

D. On October 15, 2002, the Planning Commission held a public hearing and denied the Specific Plan Use Permit for the remaining ten lots.

E. The applicant filed a timely appeal of the Planning Commission denial of the project with the City Council.

F. The appeal was heard by the City Council at a properly noticed public hearing on December 10, 2002 at which oral and documentary evidence was received into the record. The Council considered all of the evidence received and after deliberation directed the preparation of resolutions to grant the appeal.

G. The establishment, maintenance, and operation of the proposed uses and buildings or structures will not, under the circumstances of this particular case, be detrimental or injurious to the health, safety or general welfare of persons residing or working within the neighborhood of the proposed use, to property and improvements in the neighborhood, or to the general welfare of the City.

H. The establishment, operation, and maintenance of the uses and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan by ensuring compatibility with nearby existing residential neighborhoods (General Plan Land Use Policy #7.); promoting flexibility and innovation in residential land use through innovative development techniques (General Plan Land Use Policy #8.); and establishing residential design standards for a hillside area (General Plan Land Use Policy #13.) and with all zoning standards, regulations, and restrictions applicable to the property.

I. A mitigated negative declaration was previously certified by City Council Resolution No. 96-260 for the Whitney Oaks Phase II Subdivision (SD-96-02). The impact of development of these lots included in the Project was evaluated when the subdivision map was approved and mitigation measures were incorporated into the subdivision design. Per the provisions of the California Environmental Quality Act (CEQA) Section 15162 *Subsequent EIR's and Negative Declarations*, no additional environmental analysis is required of the current project. Since it will not result in substantial changes to the previously approved project, new significant environmental impacts, or a substantial increase in the severity of previously identified significant impacts.

Section 2. The portion of specific plan use permit (SPU-2000-02) as depicted in Exhibit A attached hereto and by this reference incorporated herein, is approved subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the condition for approval. Unless expressly stated otherwise, the applicant is solely responsible for satisfying each condition prior to issuance of the building permit.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Grading.

All lot grading shall conform to Exhibit A of SPU-2000-02, to the satisfaction of the Chief Building Official and the City Engineer.

2. Landscaping.

A) A landscape plan, prepared by a landscape architect, shall be submitted with the building permit application for each lot and approved by the Community Development Director prior to building permit issuance. Said landscape plan shall include:

1) Front yard and street side yard landscaping for each lot, in accord with the standards set forth in the General Development Plan for Whitney Oaks except as may be amended herein.

2) Two 24"-box street trees, London Plain (Sycamore) or equivalent, shall be planted in the front yard of each lot.

~~3) A row of 5-gallon size hardy, drought tolerant evergreen shrubs, of a species that will grow to a minimum height of 4 feet, shall be planted along the back of each home.~~

~~4) Trees shall be planted at the rear of each house as shown on Exhibit A. Tree species shall be selected for drought tolerance and compatibility with the existing oak trees.~~

Conditions proposed to
be deleted 01-26-2021

- ~~5) All disturbed areas to the side and rear of these homes shall be landscaped or hydro seeded with a mix of native and naturalized grasses and wildflowers.~~
- ~~6) The applicant shall install an automatic irrigation system(s) both above and below the wrought iron fencing at the edge of the open space easement to ensure that the above referenced landscaping survives.~~
- ~~7) The rear landscape plan shall provide for a minimum of 10 trees behind each house in the open space area. Trees shall be planted so as to create a situation without any significant visual gaps and appear as naturally located as possible.~~
- ~~8) Vines shall be planted to grow over and cover the retaining walls behind each house. Said vines shall be of a species and variety, possibly a California native, such that they will not be invasive in this location or create a fire hazard to the satisfaction of the Community Development Director.~~

B) The landscaping and irrigation system(s) for each lot shall be installed prior to the approval of a final inspection for the house, to the satisfaction of the Community Development Director.

~~C) If the landscaping installed within the proposed open space area at the rear of each lot, in accord with the approved Exhibit A, does not provide the appearance and screening intended, in the opinion of the Community Development Director, the applicant shall install additional plantings, up to a maximum of 50% more than shown on the planting plan (i.e.: if 10 trees and 10 vines were shown to be planted on a lot the applicant will increase that amount as necessary to provide additional screening up to a total of 15 trees and 15 vines) to the satisfaction of the Community Development Director prior to final building permit inspection.~~

3. Cultural Resources.

If evidence of an archaeological or paleontological site is uncovered during grading or other construction activities, work shall be halted within 100 feet of the find and the City of Rocklin Community Development Department shall be immediately notified. A qualified archaeologist or paleontologist shall be retained at the expense of the developer to conduct an on-site evaluation and provide recommendations for removal and / or preservation. Work on the project site shall not resume until the archaeologist or paleontologist has had a reasonable time to conduct an examination and implement mitigation measures deemed appropriate and necessary by the Community Development Department to reduce impacts to a less than significant level.

4. Setbacks.

- A) Building setbacks shall be as set forth in the approved General Development Plan for Whitney Oaks.
- B) The rear yard encroachment provision Rocklin Municipal Code Section 17.08.030. C shall not apply to lots 650, 651, & & 772 - 779.

5. Air Quality.

Electrical outlets shall be installed in the front and rear exterior walls of each house in this project to promote the use of electrical landscaping equipment.

6. Special Conditions.

The following special conditions shall apply to all lots subject to this specific plan use permit approval, Whitney Oaks Phase II, Units 28A (Lots 650 & 651) and 28B (Lots 772 - 779):

- ~~A) Prior to issuance of a building permit the following deed restriction shall be recorded for these lots:~~

Condition deleted by CC
Resolution #2012-84 on
May 8, 2012

~~The addition of decks, balconies, room additions, or similar structures, attached or detached, beyond the maximum footprint shown on approved Exhibit A of specific plan use permit SPU-2000-02 on file with the City of Rocklin, at the rear of the homes on lots 650, 651, & 772 - 779 is prohibited.~~

- B) Any retaining structures to the rear of these homes shall be constructed of tan colored split faced Keystone block to the satisfaction of the Community Development Director.
- C) Windows in the rear of these homes shall make use of the most non-reflective window glass reasonably available as approved by the Community Development Director.
- D) The main roof on these houses shall not exceed a 4:12 pitch.
- E) Prior to issuance of a building permit an open space and conservation easement shall be recorded over the hill side portion of these lots as shown on Exhibit A.

Conditions proposed to
be deleted 01-26-2021

- ~~F) Prior to issuance of a building permit the applicant shall demonstrate that maintenance of the open space and conservation area at the rear of each lot~~

~~has been made the responsibility of a suitable Home Owners Association in perpetuity, to the satisfaction of the Community Development Director.~~

8. Fire.

Prior to issuance of a building permit for construction on any of the project lots the developer shall develop and certify that a fuel modification plan has been implemented to the satisfaction of the Rocklin Fire Chief. The fuel modification plan shall be developed for a zone to extend from the wrought iron fence at the rear of each home a minimum of 30 feet down hill or to the rear property line, which ever is closer.

9. Oak Trees.

- A. Prior to the issuance of any building permit for any portion of the project site, a grading plan with a list of all existing oak trees on the property and a schedule of removal of those oak trees proposed to be removed shall be submitted for review and approval by the Director of Community Development.
- B. Mitigation for all oak trees authorized to be removed shall be per the Whitney Oaks Development Agreement.
- C. Any replacement trees shall be located within the proposed open space easement. Tree location consistent with this condition shall be shown on the plans submitted for a building permit and shall be planted prior to a final inspection. All replacement trees shall be of a species from the Native Oak Tree list found in the City of Rocklin Oak Tree Guidelines.
- D. The developer shall retain a certified arborist to review the design of the project improvements and recommend measures to protect the trees, which are designated to remain, both during construction and afterwards. These measures shall be incorporated into, or filed prior to or concurrently with the project's grading plans, for review and approval of the City Engineer. The protection measures shall include appropriate fencing around those trees to remain. The protection measures shall be approved prior to the issuance of a building permit.
- E. The applicant shall retain a certified arborist to prepare and implement an inspection plan providing for the periodic inspection of the site during grading and construction, and verification to the Community Development Director that the approved protection measures are properly implemented.

10. Validity.

This specific plan use permit and design review shall expire two years from the date of approval by the City Council unless the applicant applies for and receives an extension in accordance with the Rocklin Municipal Code. Following the issuance of the first building permit, these entitlements shall run with the land.


PASSED AND ADOPTED the 14th day of January, 2003, by the following roll call vote:

AYES: Councilmembers: Hill, Magnuson, Storey, Yorde, Lund
NOES: Councilmembers: None
ABSENT: Councilmembers: None
ABSTAIN: Councilmembers: None



Kathy Lund, Mayor

ATTEST:



City Clerk

BVF/gb
E:\clerk\reso\Pulte Custom Lots II 011403

EXHIBIT A

**Exhibit A of Specific Plan Use Permit SPU 2000-02 (Lots 650, 651, & 772 - 779) is on
file in the Planning Department.**



Springfield
at
Whitney Oaks



Rocklin, CA

January, 2003

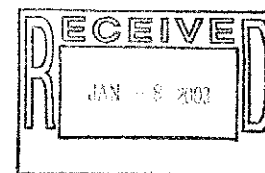


EXHIBIT A

FILE NO. SPU-2000-02

SITE PLANS





Springfield at Whitney Oaks Overall Site Plan

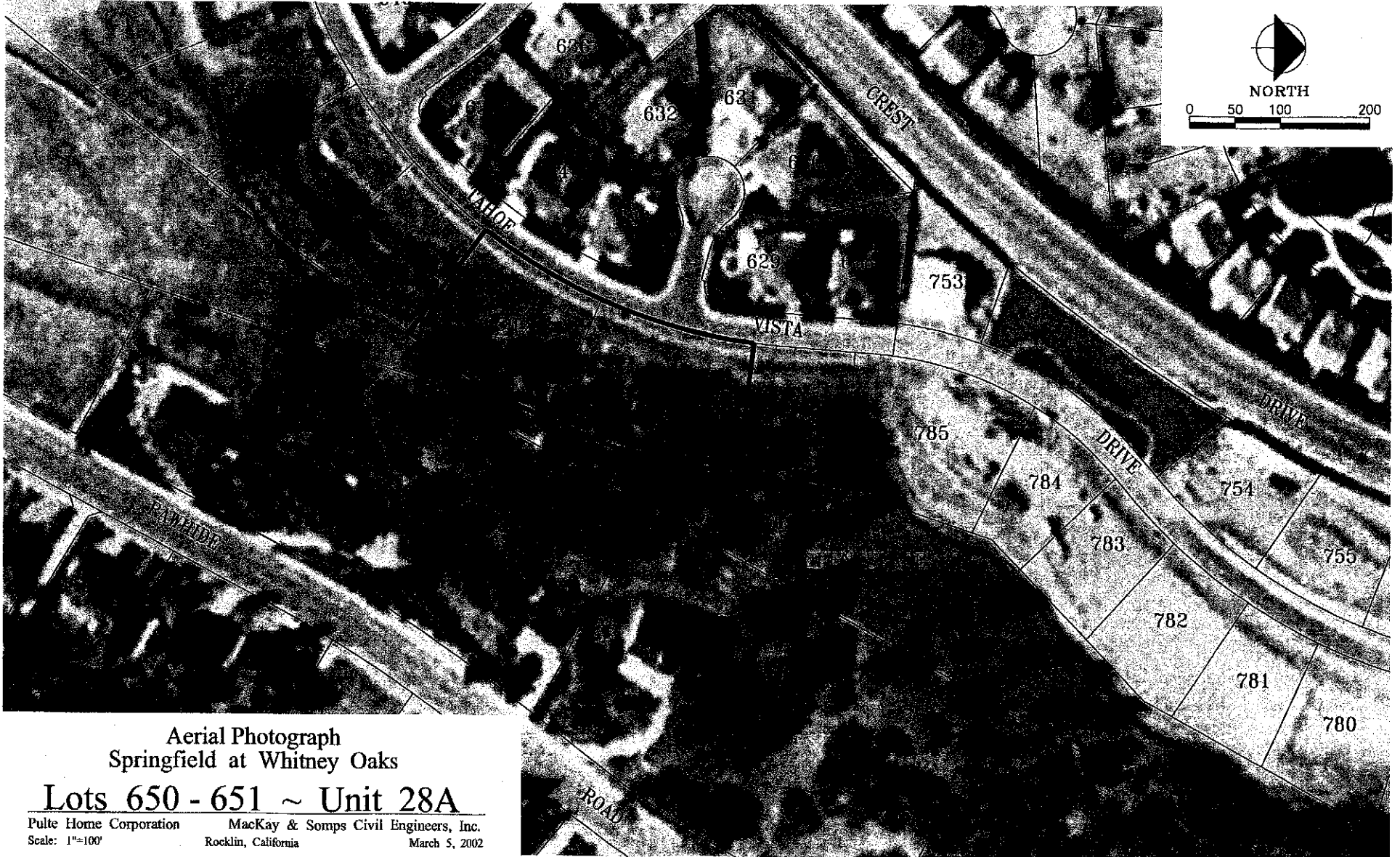
Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
 Scale: 1"=200' Rocklin, California March 5, 2002
 REVISED: August 14, 2002



Aerial Photograph
Springfield at Whitney Oaks
Overall Site Plan

Pulte Home Corporation
Scale: 1"=200'

MacKay & Soms Civil Engineers, Inc.
Rocklin, California
March 5, 2002



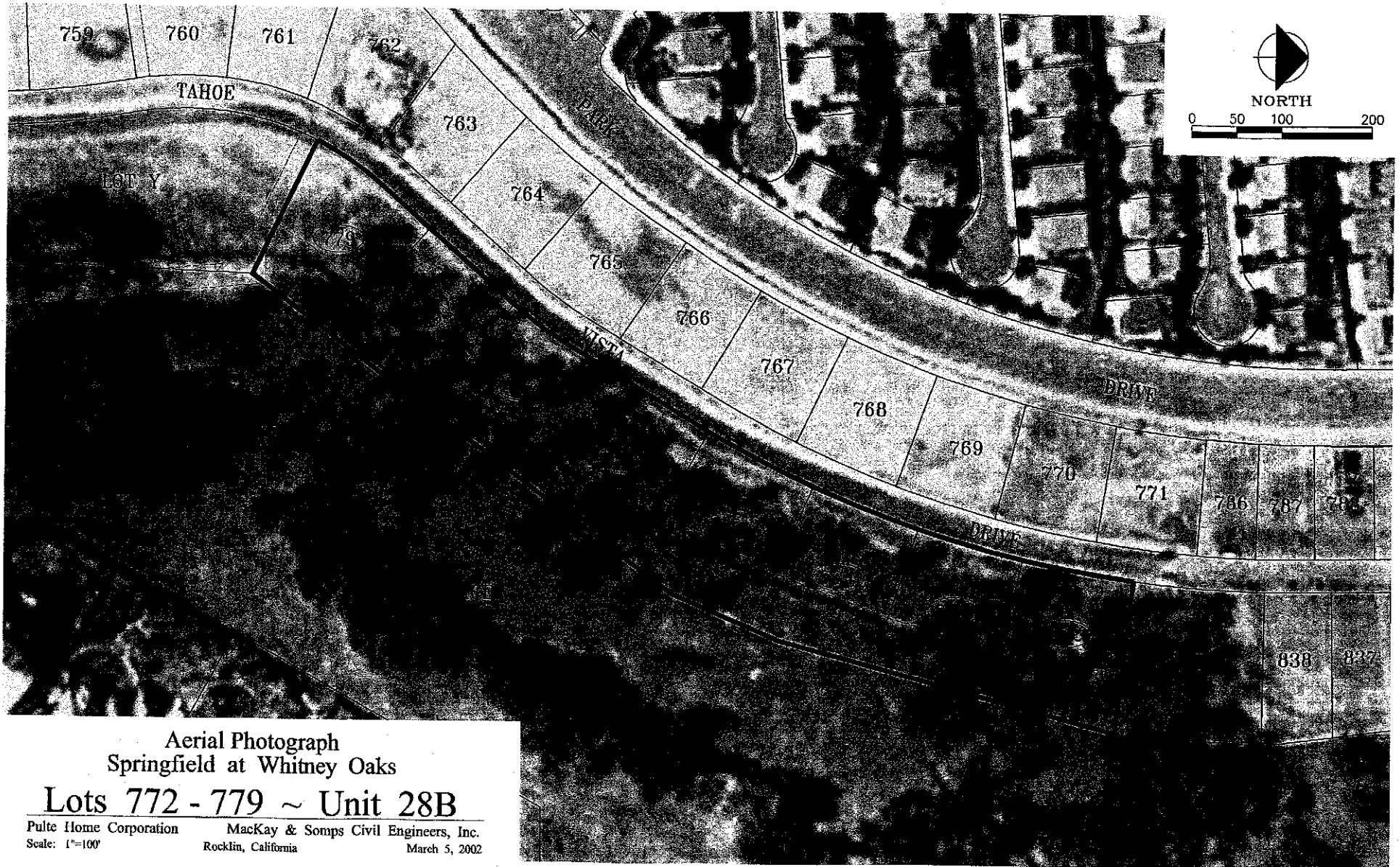
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Springfield at Whitney Oaks

Lots 650 - 651 ~ Unit 28A

Pulte Home Corporation
Scale: 1"=100'

MacKay & Soms Civil Engineers, Inc.
Rocklin, California

March 5, 2002

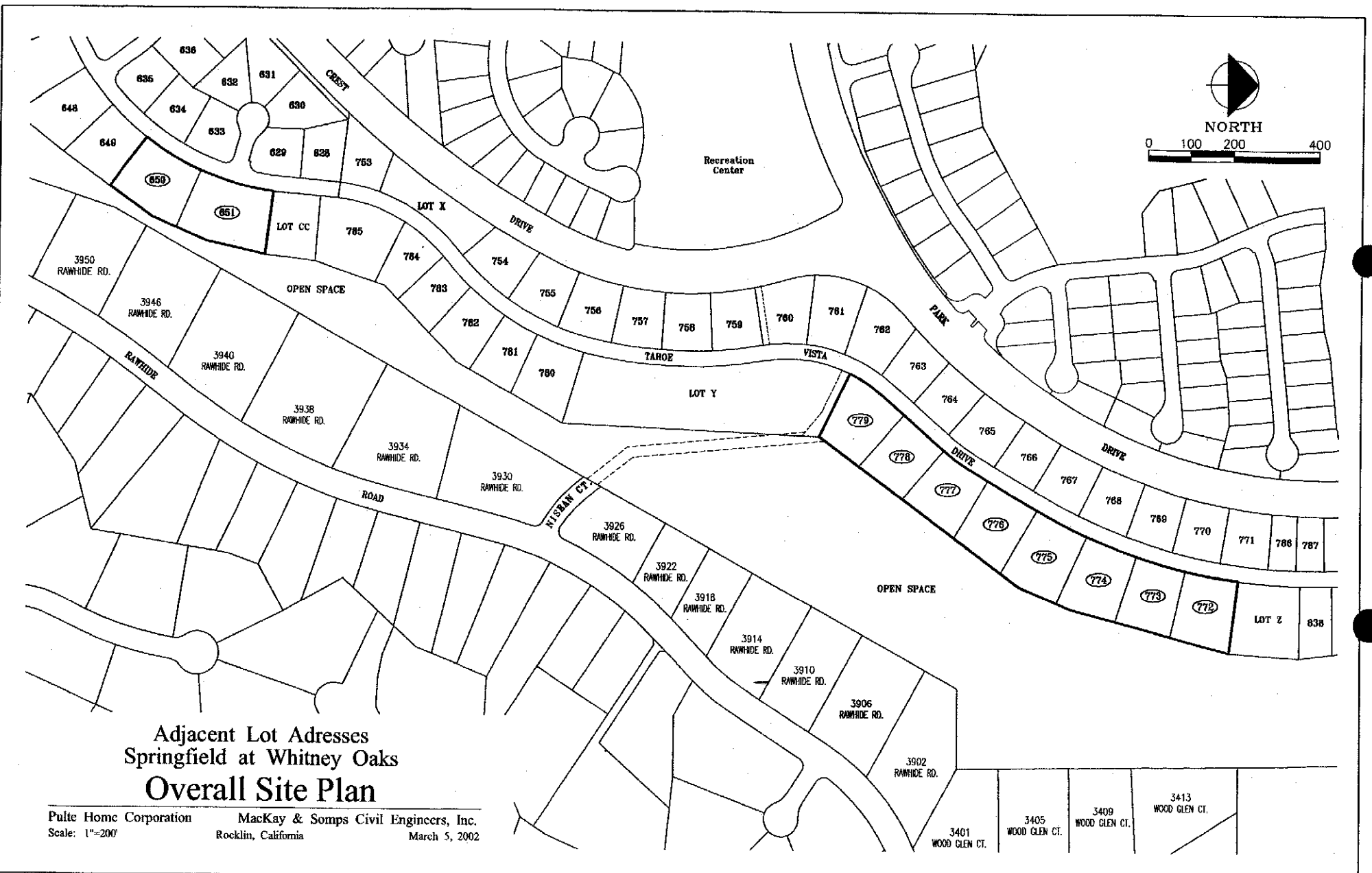


Aerial Photograph
Springfield at Whitney Oaks

Lots 772 - 779 ~ Unit 28B

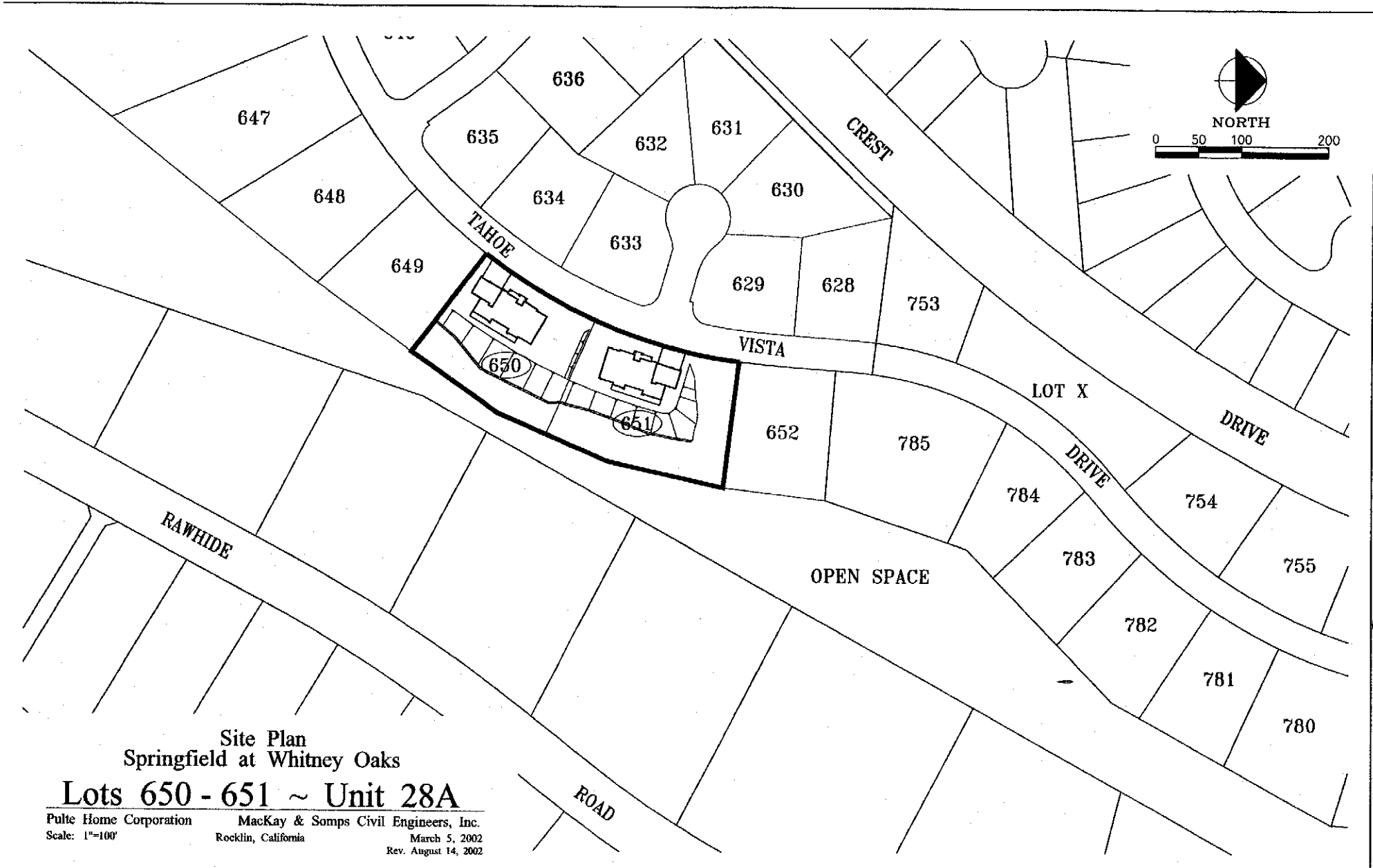
Pulte Home Corporation
Scale: 1"=100'

MacKay & Soms Civil Engineers, Inc.
Rocklin, California
March 5, 2002



Adjacent Lot Adresses
 Springfield at Whitney Oaks
Overall Site Plan

Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
 Scale: 1"=200' Rocklin, California March 5, 2002



Site Plan
Springfield at Whitney Oaks
Lots 650 - 651 ~ Unit 28A

Pulte Home Corporation
Scale: 1"=100'

MacKay & Soms Civil Engineers, Inc.
Rocklin, California

March 5, 2002
Rev. August 14, 2002



Site Plan
Springfield at Whitney Oaks

Lots 772 - 779 ~ Unit 28B

Pulte Home Corporation
Scale: 1"=100'

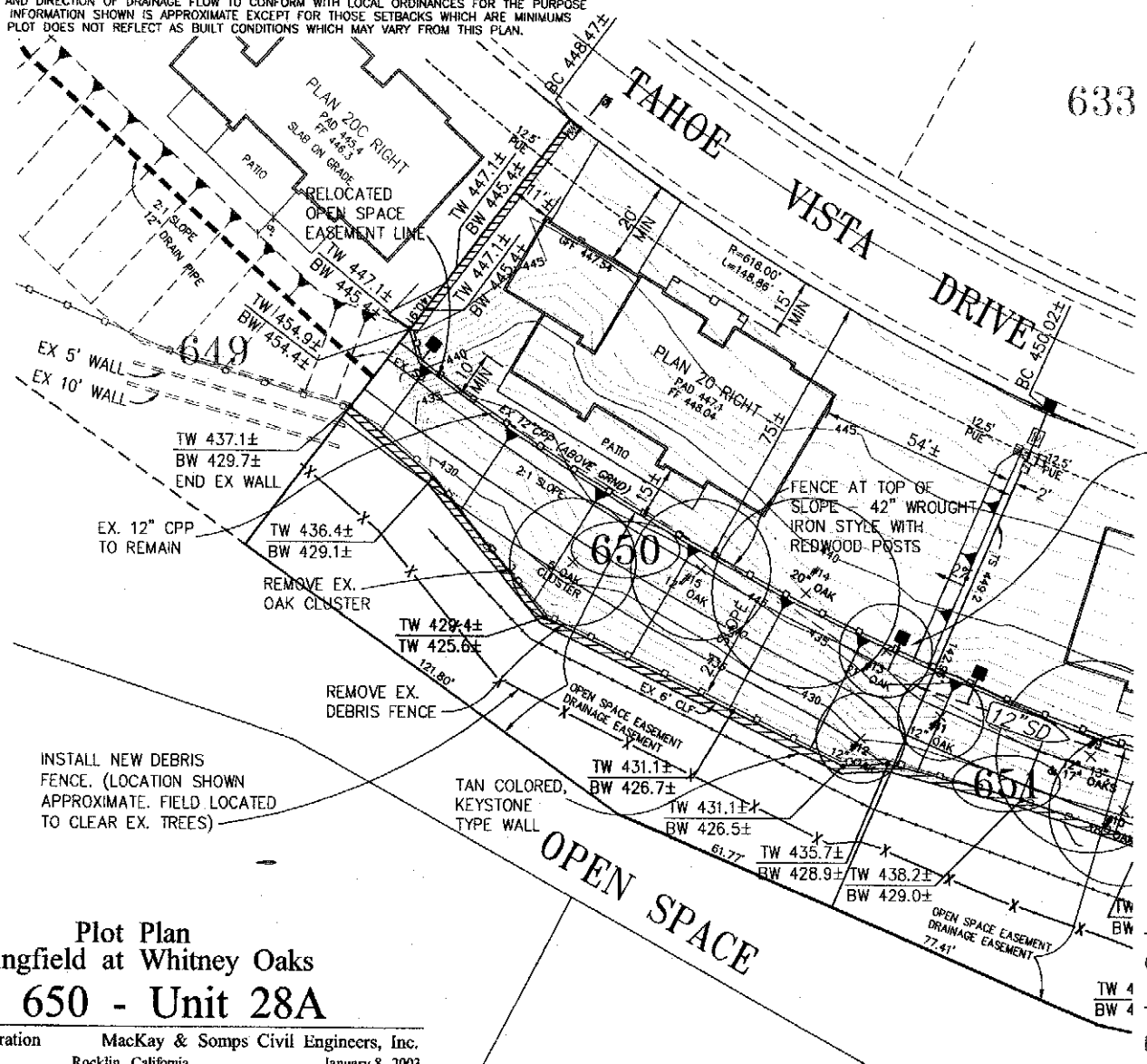
Mackay & Soms Civil Engineers, Inc.
Rocklin, California

March 5, 2002
Rev. August 13, 2002

PLOT PLANS



THIS PLOT IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS WHICH MAY VARY FROM THIS PLAN.



INSTALL DRAINAGE INLET & CONNECT TO EX. 12" CPP WITH 8" SD (TYPICAL OF 2)

TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#12	12" OAK
#13	21" OAK
#14	20" OAK
#15	12" OAK
-	EX. OAK CLUSTER

LEGEND

- CPP = CORRUGATED PLASTIC PIPE
- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET ■
- 12.5' P.U.E.
- R/W

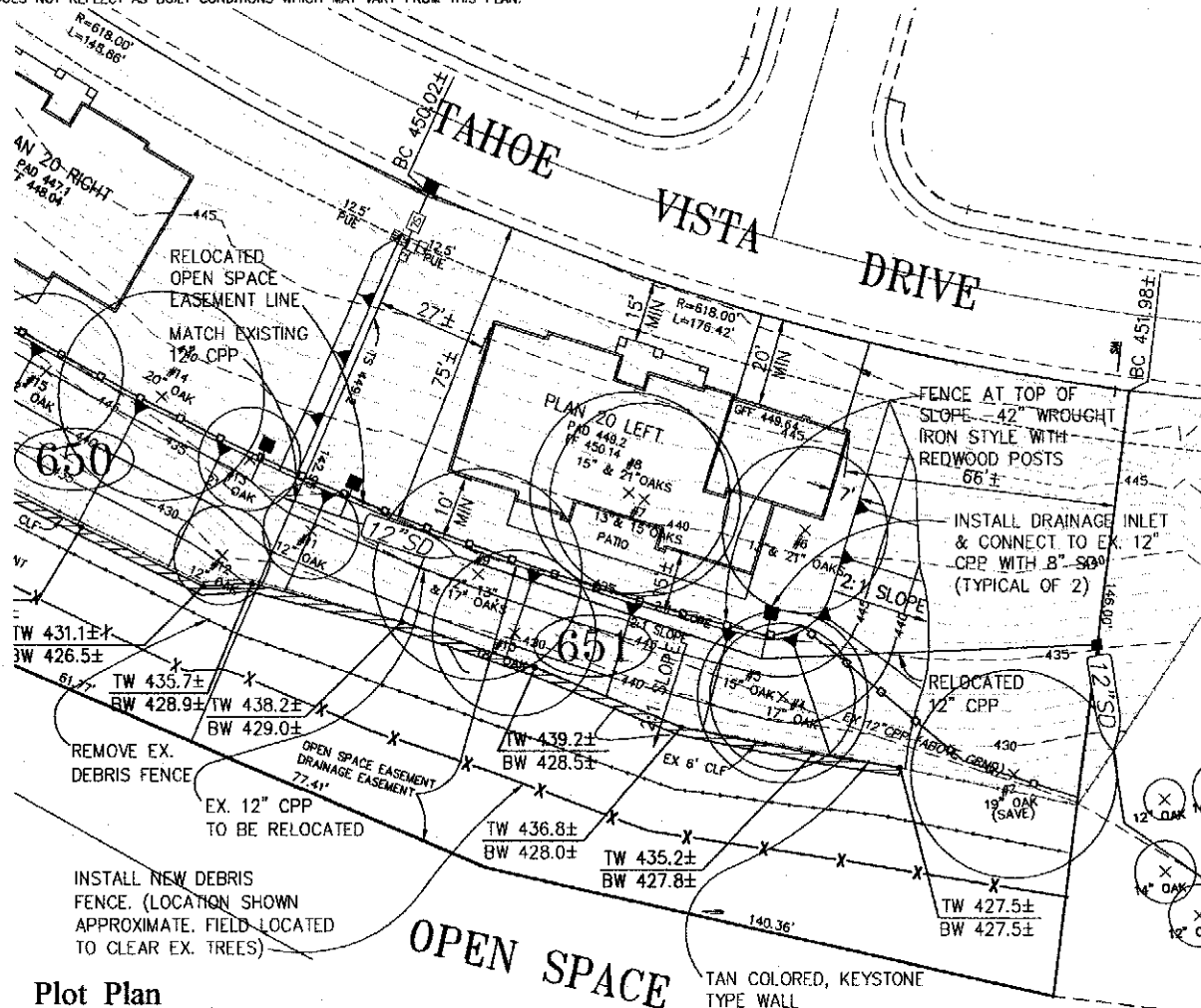
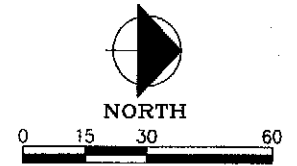
**Plot Plan
Springfield at Whitney Oaks
Lot 650 - Unit 28A**

Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
Scale: 1"=30' Rocklin, California January 8, 2003

[1] P:\18203\plans\p00000.dwg

APN: 375-020-023

THIS PLOT IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS WHICH MAY VARY FROM THIS PLAN.



TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#4	17" OAK
#5	15" OAK
#6	13" & 21" OAKS
#7	13" & 15" OAKS
#8	15" & 21" OAKS
#9	12", 13" & 17" OAKS
#10	18" OAK
#11	12" OAK

LEGEND

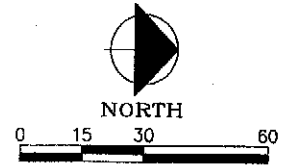
- CPP = CORRUGATED PLASTIC PIPE
- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET ■
- 12.5' P.U.E.
- R/W

**Plot Plan
Springfield at Whitney Oaks
Lot 651 - Unit 28A**

Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
Scale: 1"=30' Rocklin, California January 8, 2003

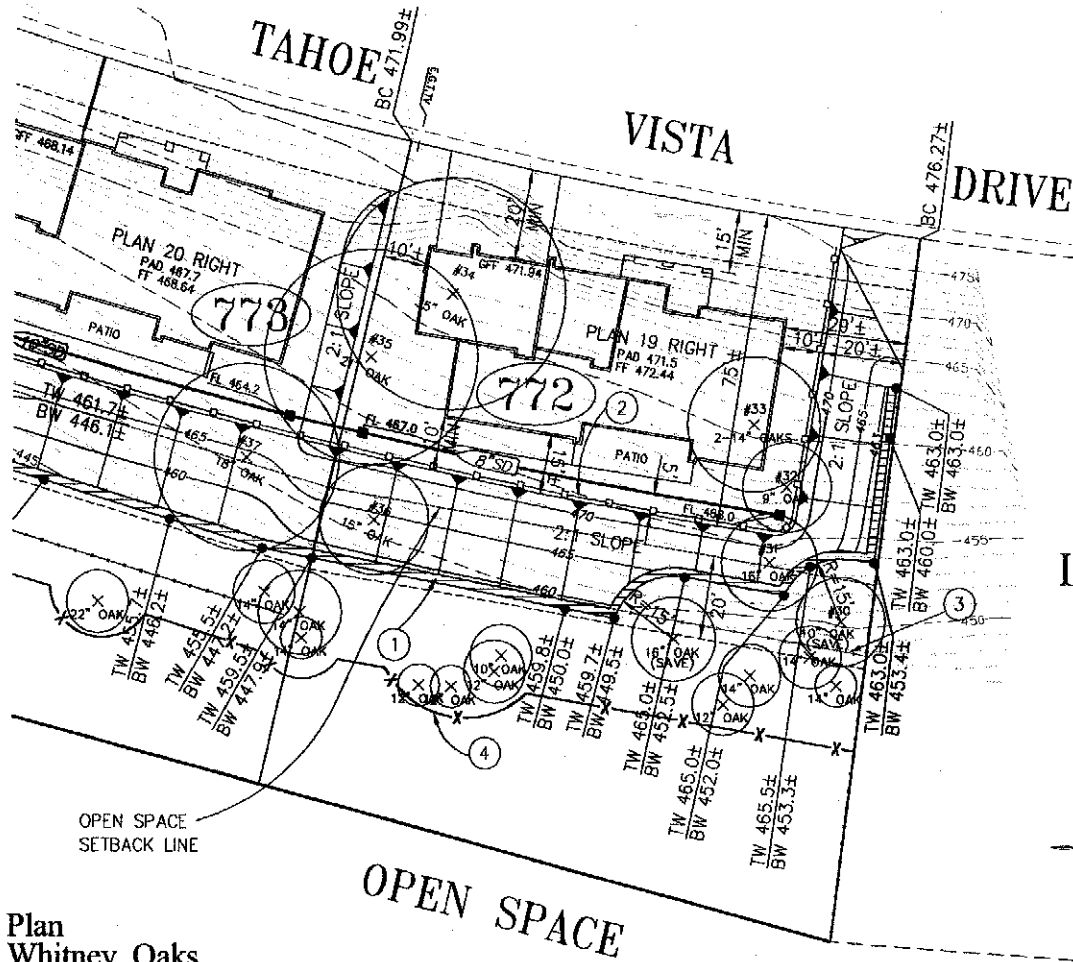
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KEY NOTES:

- ① TAN COLORED KEYSTONE TYPE WALL
- ② 42" WROUGHT IRON STYLE FENCE WITH REDWOOD POSTS AT TOP OF SLOPE
- ③ REMOVE EX. DEBRIS FENCE
- ④ INSTALL NEW DEBRIS FENCE (LOCATION SHOWN APPROXIMATE. FIELD LOCATE TO CLEAR EX. TREES)



LOT Z

TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#31	16" OAK
#32	9" OAK
#33	2-14" OAK
#34	35" OAK
#35	21" OAK
#36	15" OAK

ADDITIONAL OAK TREES ON LOT 772 EASTERLY OF WALL ARE TO REMAIN

LEGEND

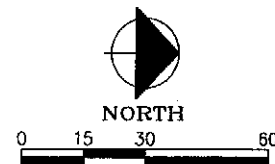
- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET ■
- 12.5' P.U.E.
- R/W

**Plot Plan
Springfield at Whitney Oaks
Lot 772 - Unit 28B**

Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
Scale: 1"=30' Rocklin, California January 8, 2003

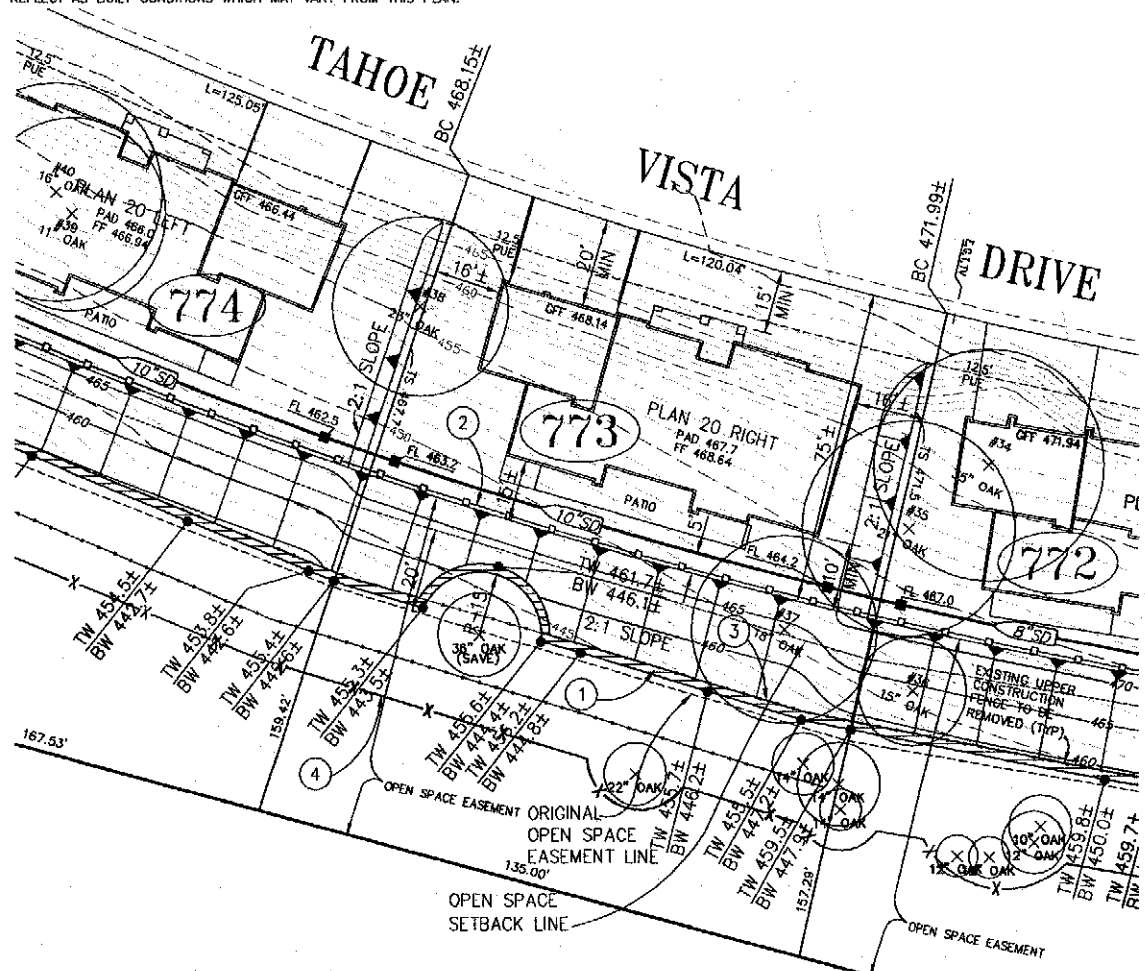
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KEY NOTES:

- ① TAN COLORED KEYSTONE TYPE WALL
- ② 42" WROUGHT IRON STYLE FENCE WITH REDWOOD POSTS AT TOP OF SLOPE
- ③ REMOVE EX. DEBRIS FENCE
- ④ INSTALL NEW DEBRIS FENCE (LOCATION SHOWN APPROXIMATE. FIELD LOCATE TO CLEAR EX. TREES)



TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#37	18" OAK

OAK TREES ON LOT 773 EASTERLY OF THE PROPOSED RETAINING WALL ARE TO REMAIN

LEGEND

- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET ■
- 12.5' P.U.E.
- R/W

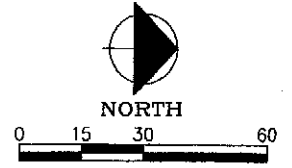
**Plot Plan
Springfield at Whitney Oaks
Lot 773 - Unit 28B**

Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
Scale: 1"=30' Rocklin, California January 8, 2003

APN:375-030-010

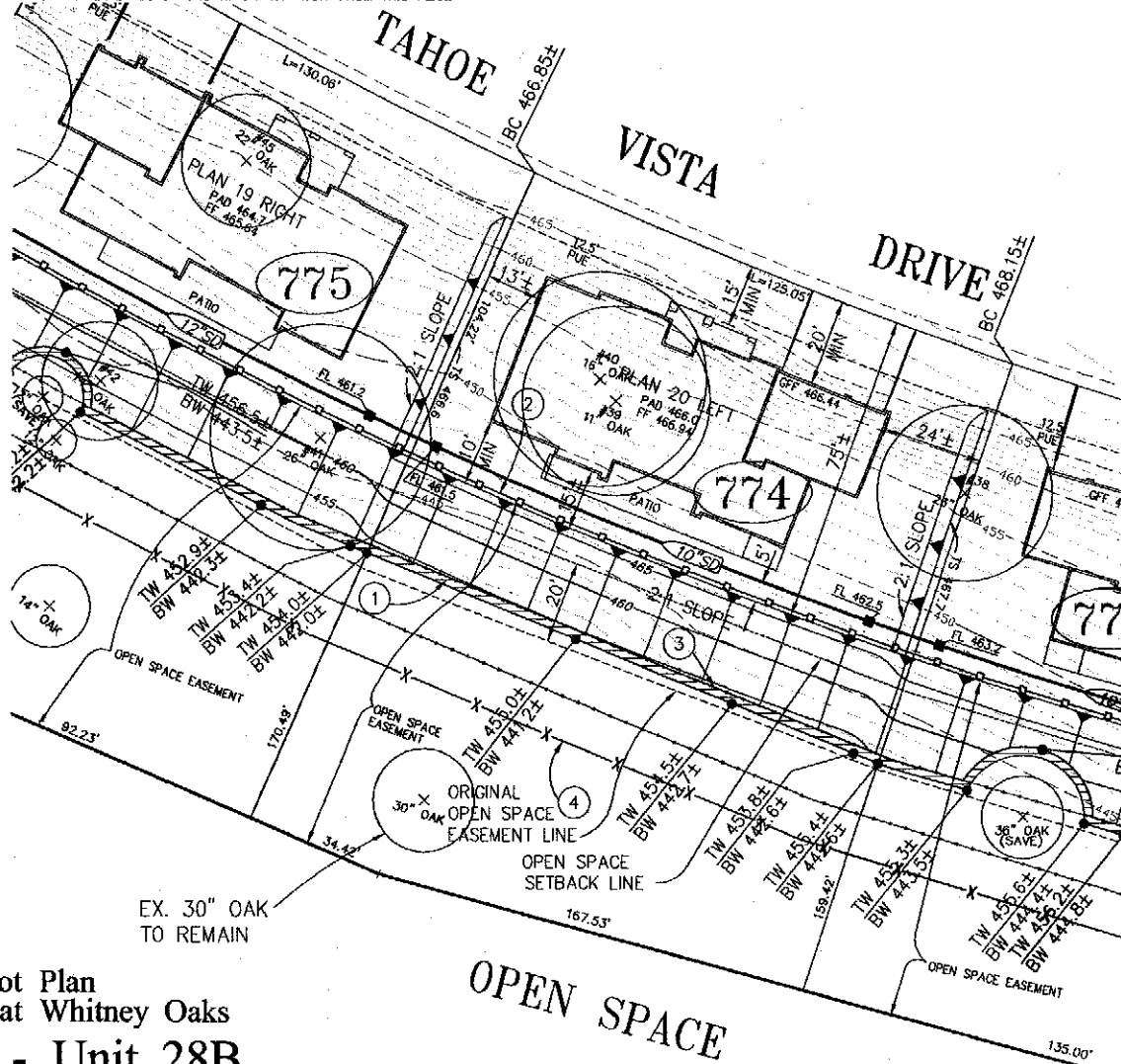
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THIS PLOT IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS WHICH MAY VARY FROM THIS PLAN.



KEY NOTES:

- ① TAN COLORED KEYSTONE TYPE WALL
- ② 42" WROUGHT IRON STYLE FENCE WITH REDWOOD POSTS AT TOP OF SLOPE
- ③ REMOVE EX. DEBRIS FENCE
- ④ INSTALL NEW DEBRIS FENCE (LOCATION SHOWN APPROXIMATE. FIELD LOCATE TO CLEAR EX. TREES)



TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#38	23" OAK
#39	11" OAK
#40	16" OAK

LEGEND

- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET
- 12.5'
P.U.E.
- R/W

**Plot Plan
Springfield at Whitney Oaks
Lot 774 - Unit 28B**

Pulte Home Corporation
Scale: 1"=30'

Mackay & Soms Civil Engineers, Inc.
Rocklin, California
January 8, 2003

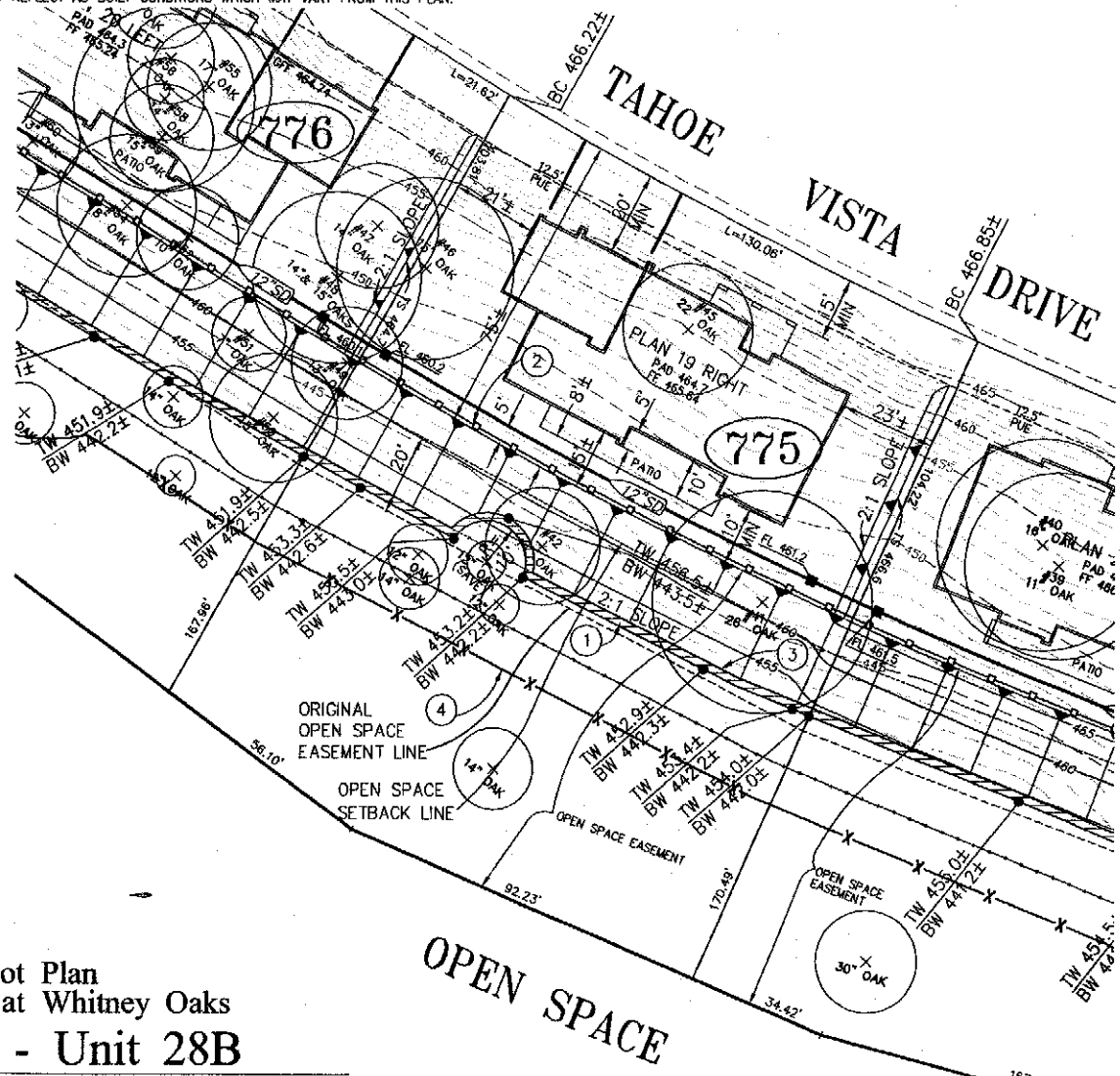
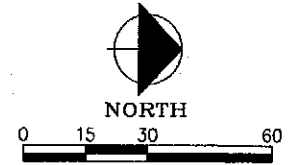
APN: 375-030-011

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THIS PLOT IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS WHICH MAY VARY FROM THIS PLAN.

KEY NOTES:

- ① TAN COLORED KEYSTONE TYPE WALL
- ② 42" WROUGHT IRON STYLE FENCE WITH REDWOOD POSTS AT TOP OF SLOPE
- ③ REMOVE EX. DEBRIS FENCE
- ④ INSTALL NEW DEBRIS FENCE (LOCATION SHOWN APPROXIMATE. FIELD LOCATE TO CLEAR EX. TREES)



TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#41	26" OAK
#42	14" OAK
#45	22" OAK
#46	15" OAK

FIVE ADDITIONAL OAK TREES ON LOT 775 EASTERLY OF THE PROPOSED RETAINING WALL ARE TO REMAIN

LEGEND

- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET
- 12.5' P.U.E.
- R/W

**Plot Plan
Springfield at Whitney Oaks
Lot 775 - Unit 28B**

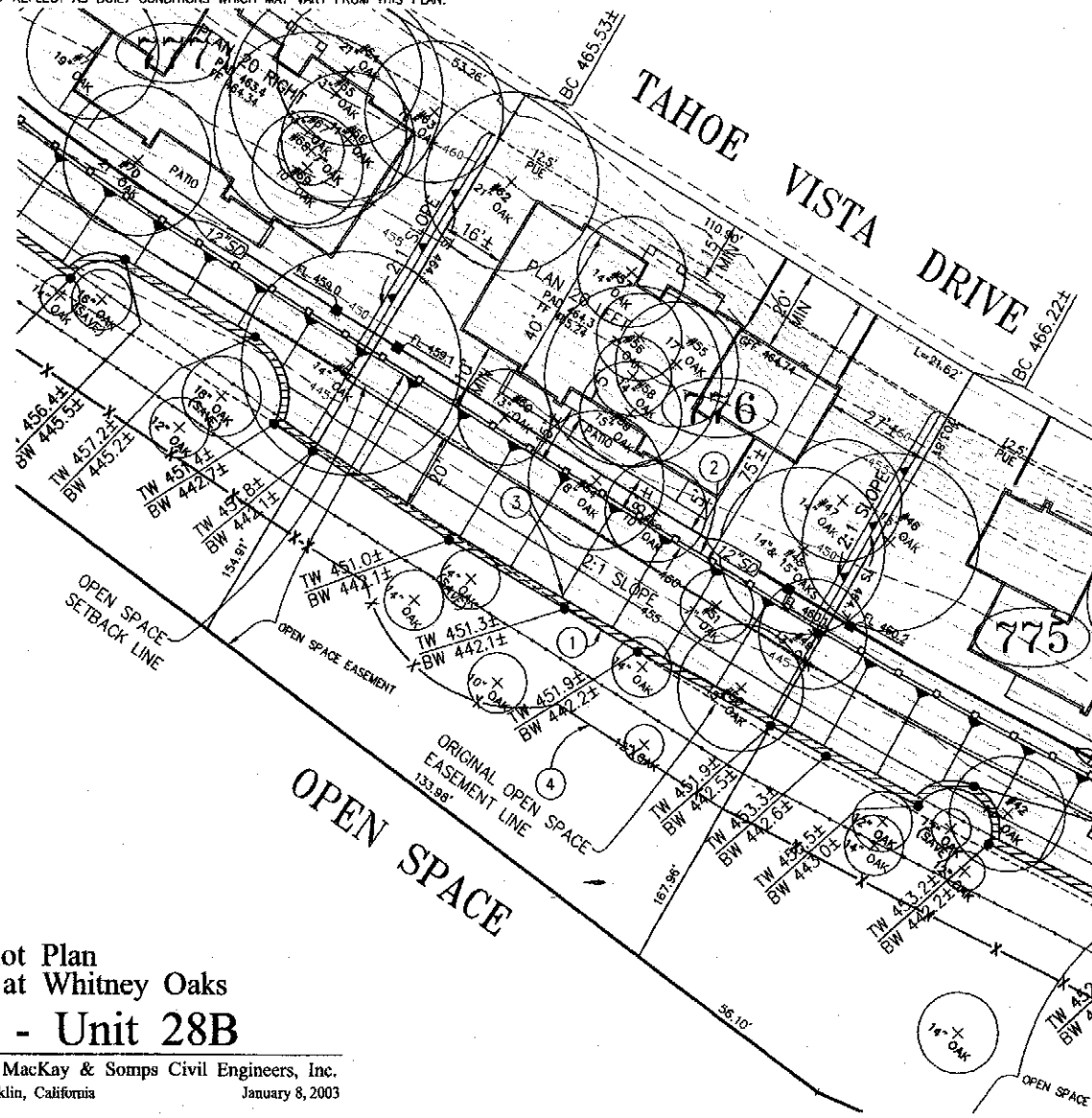
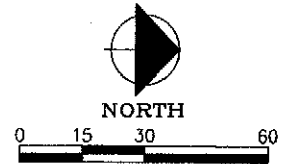
Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
Scale: 1"=30' Rocklin, California January 8, 2003

APN: 375-030-012

THIS PLOT IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS WHICH MAY VARY FROM THIS PLAN.

KEY NOTES:

- ① TAN COLORED KEYSTONE TYPE WALL
- ② 42" WROUGHT IRON STYLE FENCE WITH REDWOOD POSTS AT TOP OF SLOPE
- ③ REMOVE EX. DEBRIS FENCE
- ④ INSTALL NEW DEBRIS FENCE (LOCATION SHOWN APPROXIMATE. FIELD LOCATE TO CLEAR EX. TREES)



TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#47	14" OAK
#48	14" & 15" OAKS
#49	13" OAK
#50	15" OAK
#51	7" OAK
#52	10" OAK
#54	18" OAK
#55	17" OAK
#56	7" OAK
#57	14" OAK
#58	14" OAK
#59	15" OAK
#60	13" OAK
#62	21" OAK

ADDITIONAL OAK TREES ON LOT 776 EASTERLY OF PROPOSED RETAINING WALL ARE TO REMAIN

LEGEND

- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET ■
- 12.5' P.U.E.
- R/W

**Plot Plan
Springfield at Whitney Oaks
Lot 776 - Unit 28B**

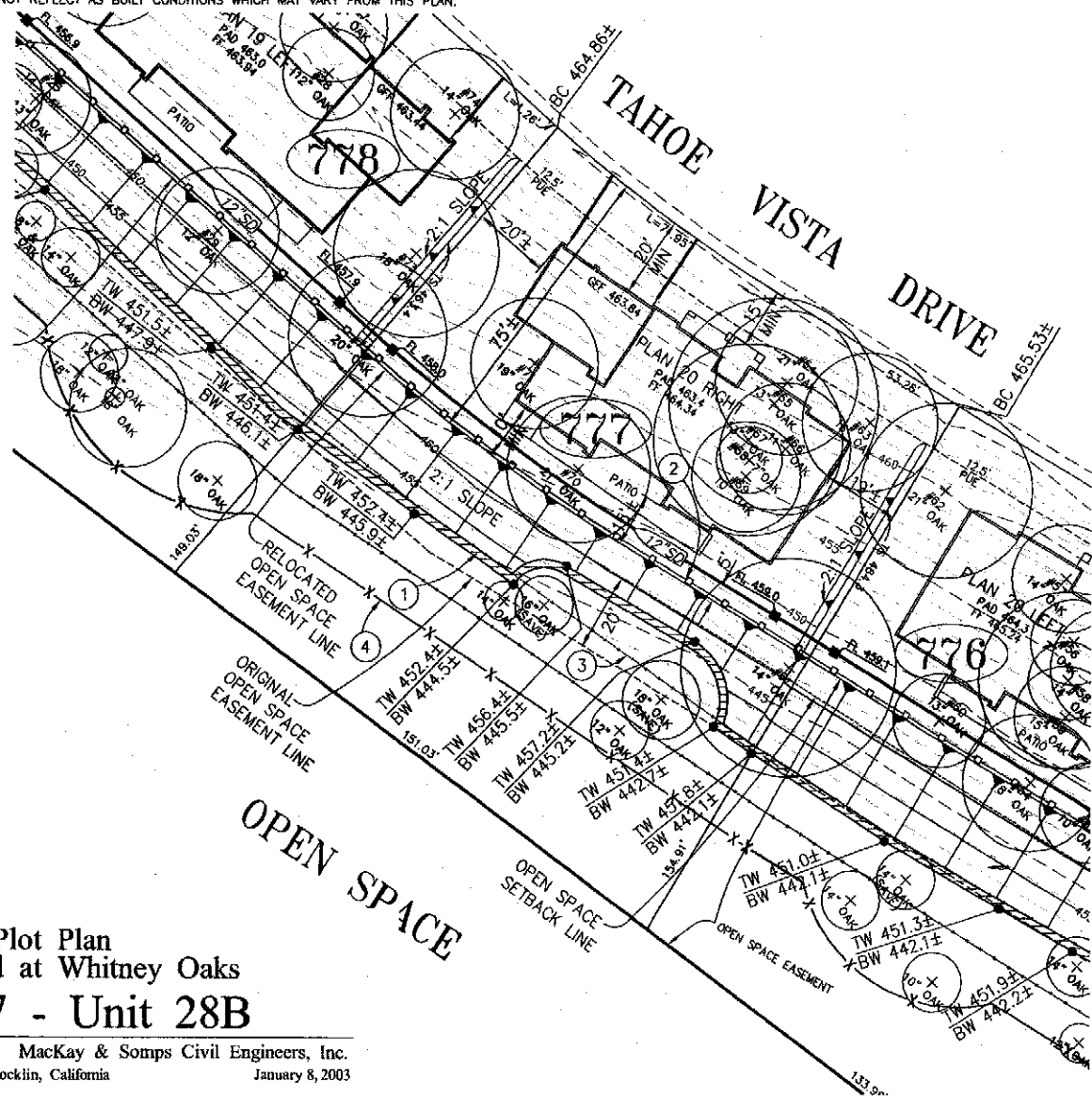
Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
Scale: 1"=30' Rocklin, California January 8, 2003

APN: 375-030-013

THIS PLOT IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS WHICH MAY VARY FROM THIS PLAN.

KEY NOTES:

- ① TAN COLORED KEYSTONE TYPE WALL
- ② 42" WROUGHT IRON STYLE FENCE WITH REDWOOD POSTS AT TOP OF SLOPE
- ③ REMOVE EX. DEBRIS FENCE
- ④ INSTALL NEW DEBRIS FENCE (LOCATION SHOWN APPROXIMATE. FIELD LOCATE TO CLEAR EX. TREES)



TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#61	14" OAK
#63	16" OAK
#64	21" OAK
#65	13" OAK
#66	11" OAK
#67	13" OAK
#68	7" OAK
#69	10" OAK
#70	21 OAK
#71	19" OAK

ADDITIONAL OAK TREES ON LOT 777 EASTERLY OF THE PROPOSED RETAINING WALL ARE TO REMAIN

LEGEND

- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET
- 12.5' P.U.E.
- R/W

**Plot Plan
Springfield at Whitney Oaks
Lot 777 - Unit 28B**

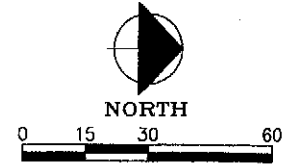
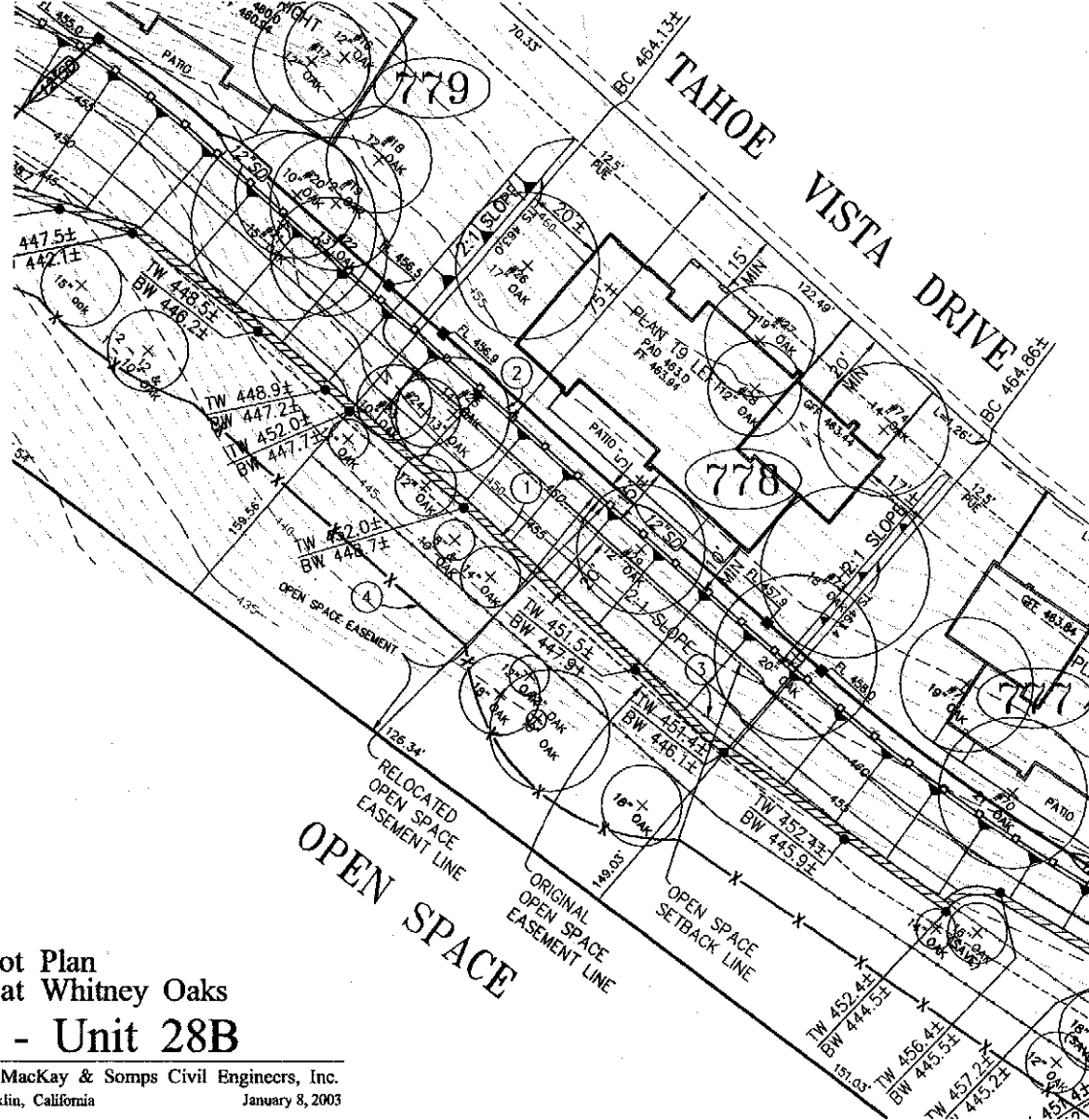
Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
Scale: 1"=30' Rocklin, California January 8, 2003

APN: 375-030-014

THIS PLOT IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS WHICH MAY VARY FROM THIS PLAN.

KEY NOTES:

- ① TAN COLORED KEYSTONE TYPE WALL
- ② 42" WROUGHT IRON STYLE FENCE WITH REDWOOD POSTS AT TOP OF SLOPE
- ③ REMOVE EX. DEBRIS FENCE
- ④ INSTALL NEW DEBRIS FENCE (LOCATION SHOWN APPROXIMATE. FIELD LOCATE TO CLEAR EX. TREES)



TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#72	20" OAK
#73	18" OAK
#74	14" OAK
#23	10" OAK
#24	13" OAK
#25	14" OAK
#26	17" OAK
#27	19" OAK
#28	12" OAK
#29	12" OAK

ADDITIONAL OAK TREES ON LOT 778 EASTERLY OF THE PROPOSED RETAINING WALL ARE TO REMAIN

LEGEND

- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET ■
- 12.5' P.U.E.
- R/W

**Plot Plan
Springfield at Whitney Oaks
Lot 778 - Unit 28B**

Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
Scale: 1"=30' Rocklin, California January 8, 2003

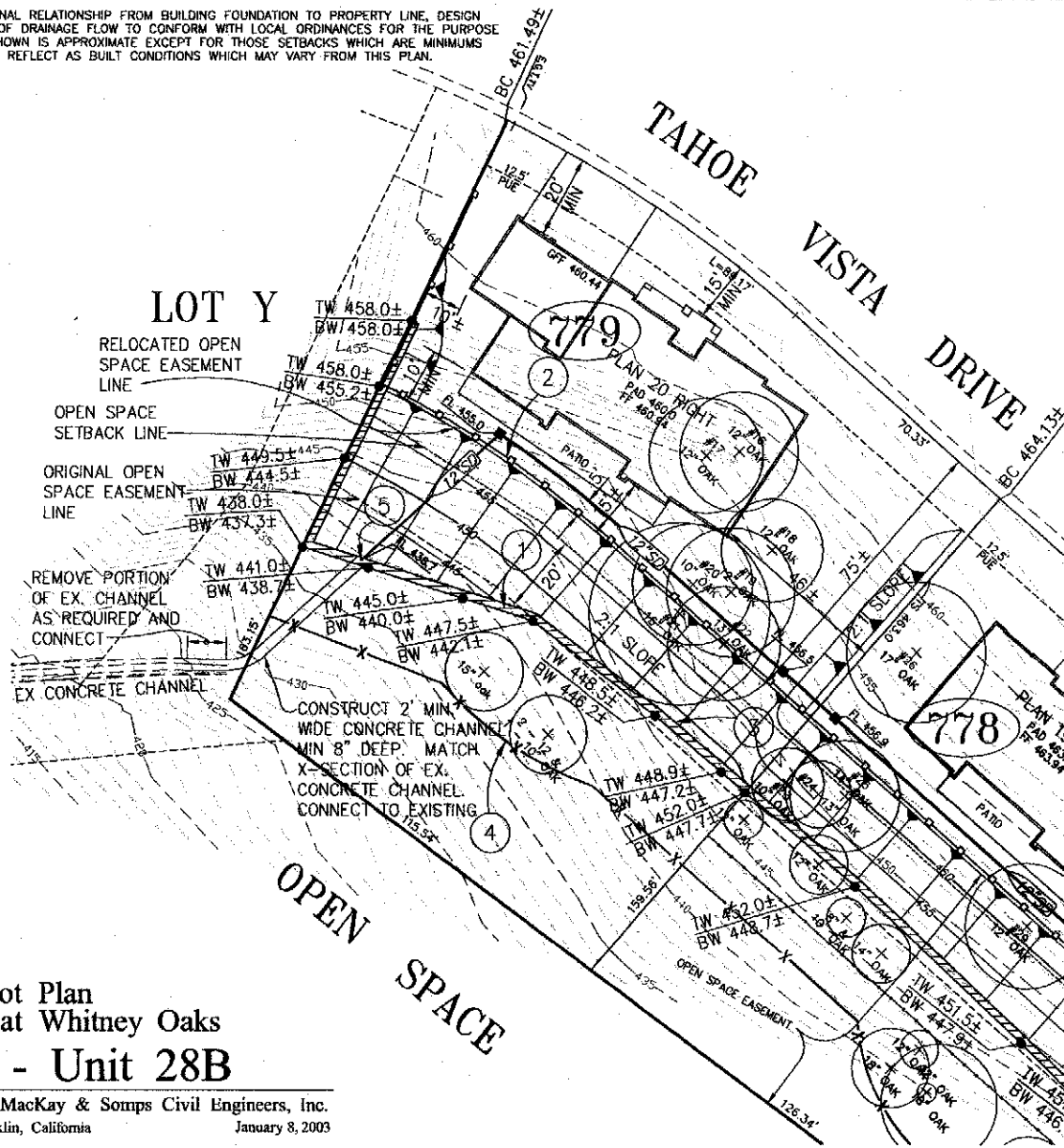
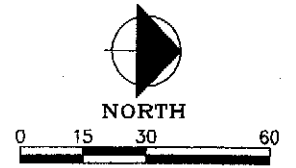
APN: 375-030-015

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 11/1 P: \\18203\plots\plans\yppbase.dwg
 11/1 P: \\18203\plots\plans\yppbase.dwg

THIS PLOT IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, DESIGN DRAINAGE CONTROL ELEVATIONS, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN IS APPROXIMATE EXCEPT FOR THOSE SETBACKS WHICH ARE MINIMUMS REQUIRED BY ORDINANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS WHICH MAY VARY FROM THIS PLAN.

KEY NOTES:

- ① TAN COLORED KEYSTONE TYPE WALL
- ② 42" WROUGHT IRON STYLE FENCE WITH REDWOOD POSTS AT TOP OF SLOPE
- ③ REMOVE EX. DEBRIS FENCE
- ④ INSTALL NEW DEBRIS FENCE (LOCATION SHOWN APPROXIMATE, FIELD LOCATE TO CLEAR EX. TREES)
- ⑤ 12" SD TO EXTEND THRU FACE OF WALL AND DRAIN INTO CONCRETE CHANNEL



TREE REMOVAL LIST

TREE NUMBER	DESCRIPTION
#16	12" OAK
#17	12" OAK
#18	12" OAK
#19	12" OAK
#20	10" OAK
#21	15" OAK
#22	13" OAK

ADDITIONAL OAK TREES ON LOT 779 EASTERLY OF THE PROPOSED RETAINING WALL ARE TO REMAIN

LEGEND

- TW = TOP OF WALL
- BW = BTM. OF WALL
- C = CONCRETE
- DRAINAGE INLET ■
- 12.5' P.U.E.
- R/W

**Plot Plan
Springfield at Whitney Oaks
Lot 779 - Unit 28B**

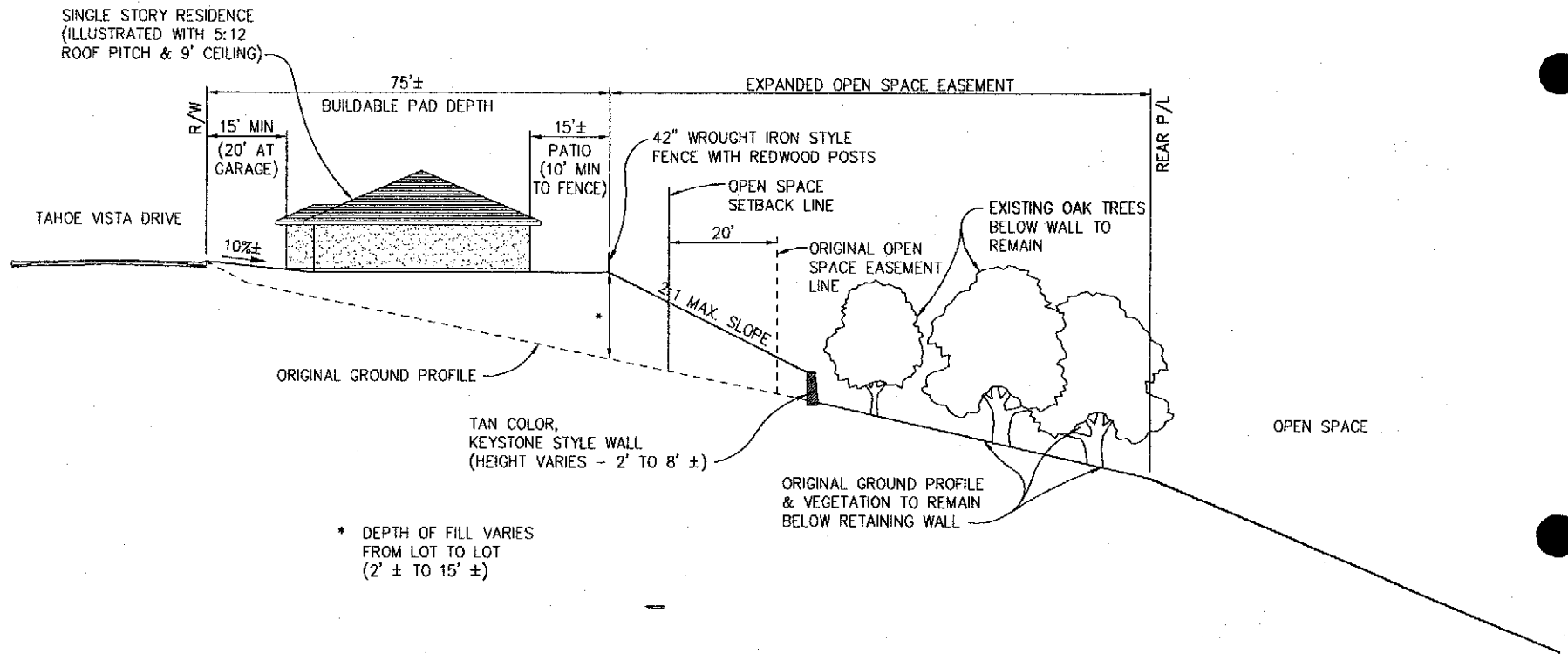
Pulte Home Corporation MacKay & Soms Civil Engineers, Inc.
Scale: 1"=30' Rocklin, California January 8, 2003

APN: 375-030-016

LOT CROSS-SECTION



NOTE:
PAD, SLOPE & WALL GRADES
FROM GRADING PLANS BY OTHERS.



* DEPTH OF FILL VARIES
FROM LOT TO LOT
(2' ± TO 15' ±)

Typical Section
Springfield at Whitney Oaks
Lot 775 - Unit 28B

Pulte Home Corporation
Scale: 1"=20'

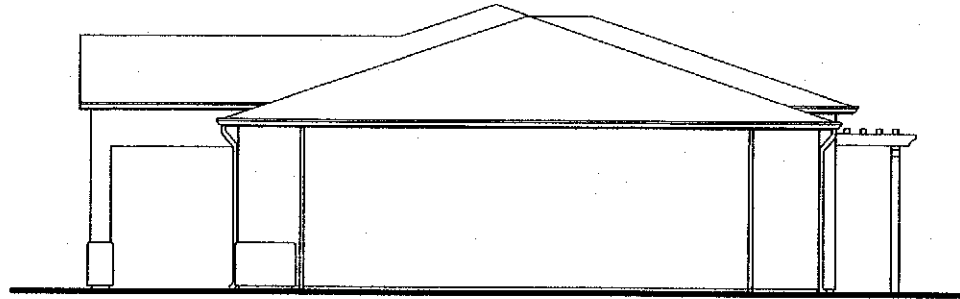
MacKay & Soms Civil Engineers, Inc.
Rocklin, California

March 5, 2002
REVISED: March 13, 2002
December 9, 2002

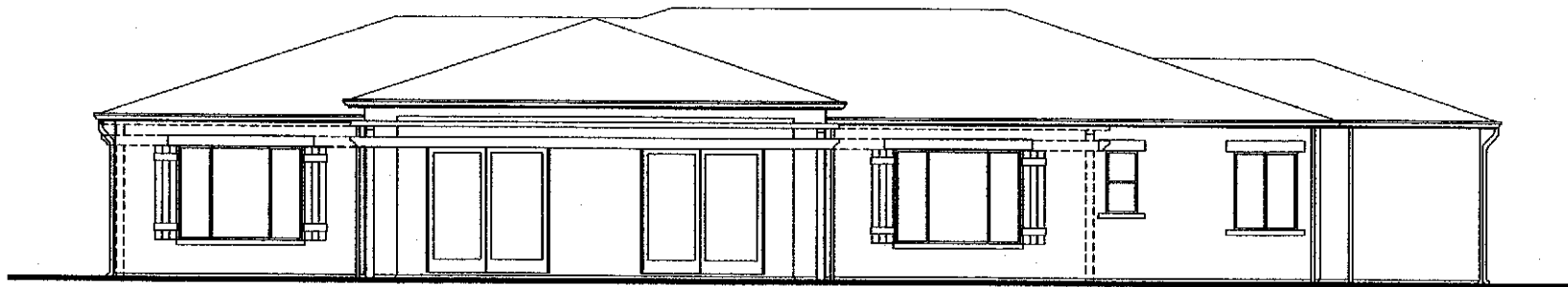
There are no references in this drawing.

ARCHITECTURAL PLANS





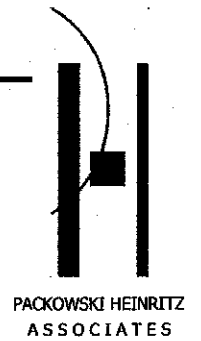
SIDE ELEVATION

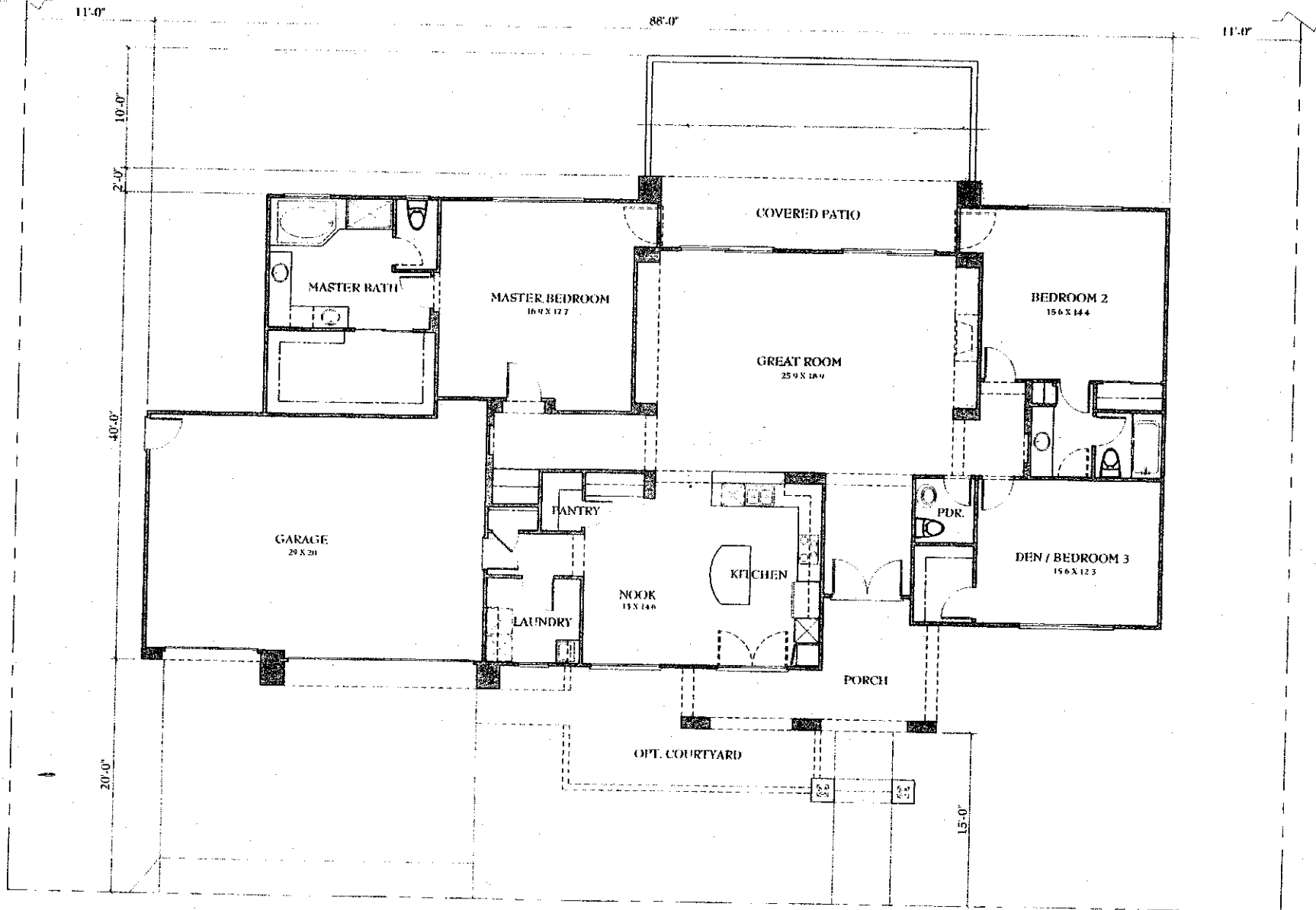


REAR ELEVATION

SPRINGFIELD
WHITNEY OAKS
A PULTE RESORT COMMUNITY

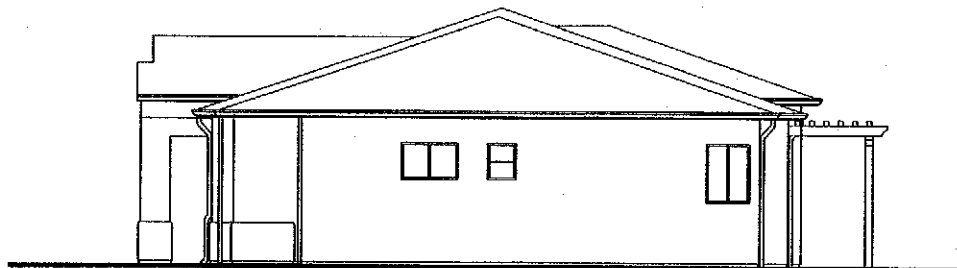
PLAN 19
EXTERIOR ELEVATION



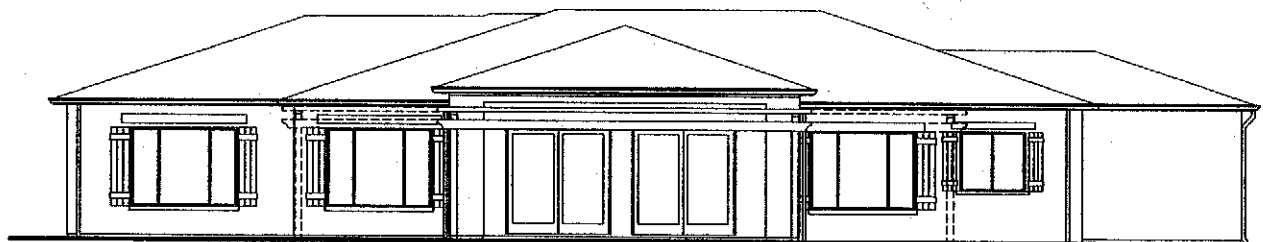


PLAN	19
SQ. FT.	2,466
SCALE:	1/4" = 1'-0"
DATE:	3-20-02
JOB NO.:	001026






SIDE ELEVATION



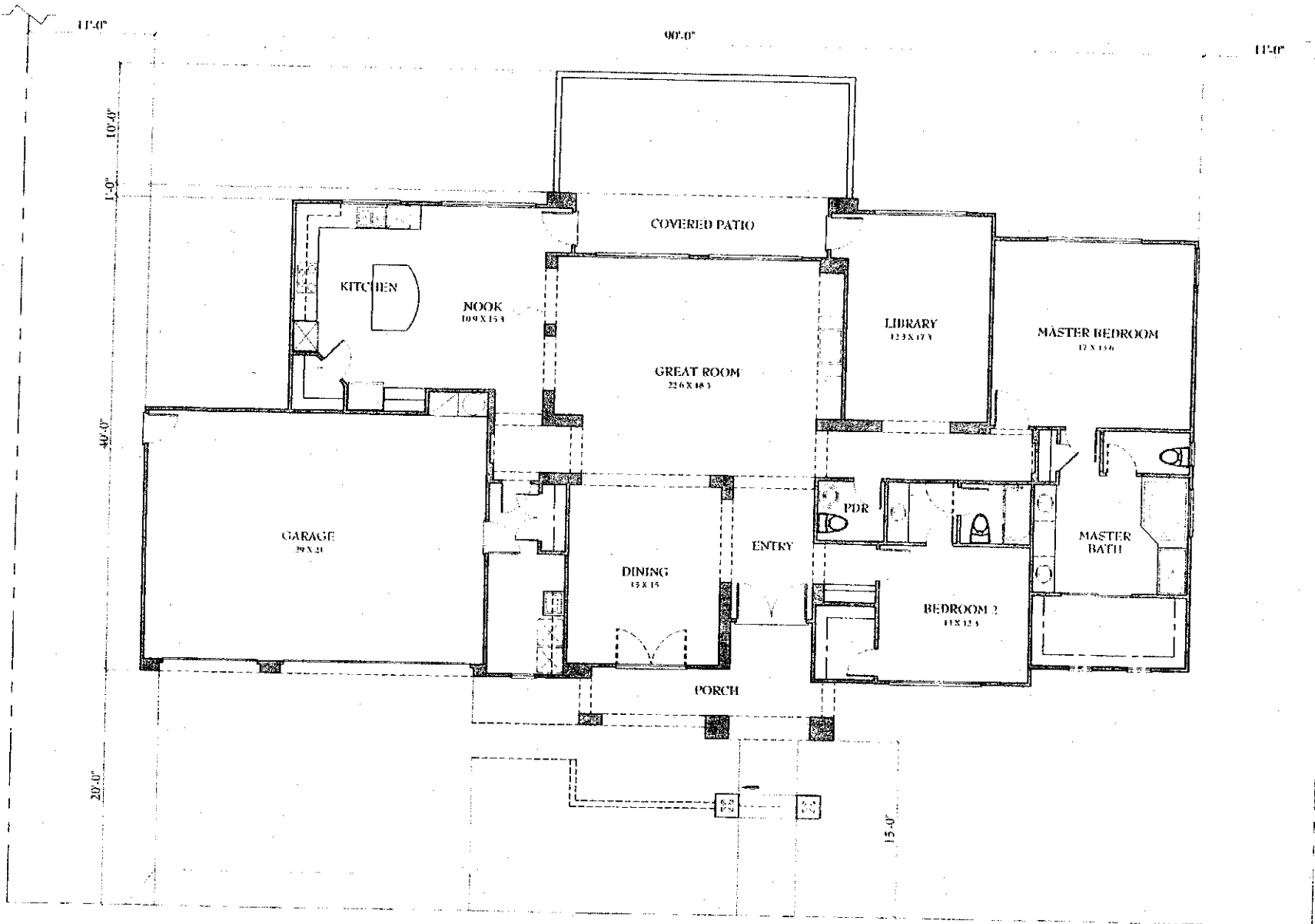
REAR ELEVATION

SPRINGFIELD
WHITNEY OAKS
A PULTE RESORT COMMUNITY

PLAN 20
EXTERIOR ELEVATION



PACKOWSKI HEINRITZ
ASSOCIATES



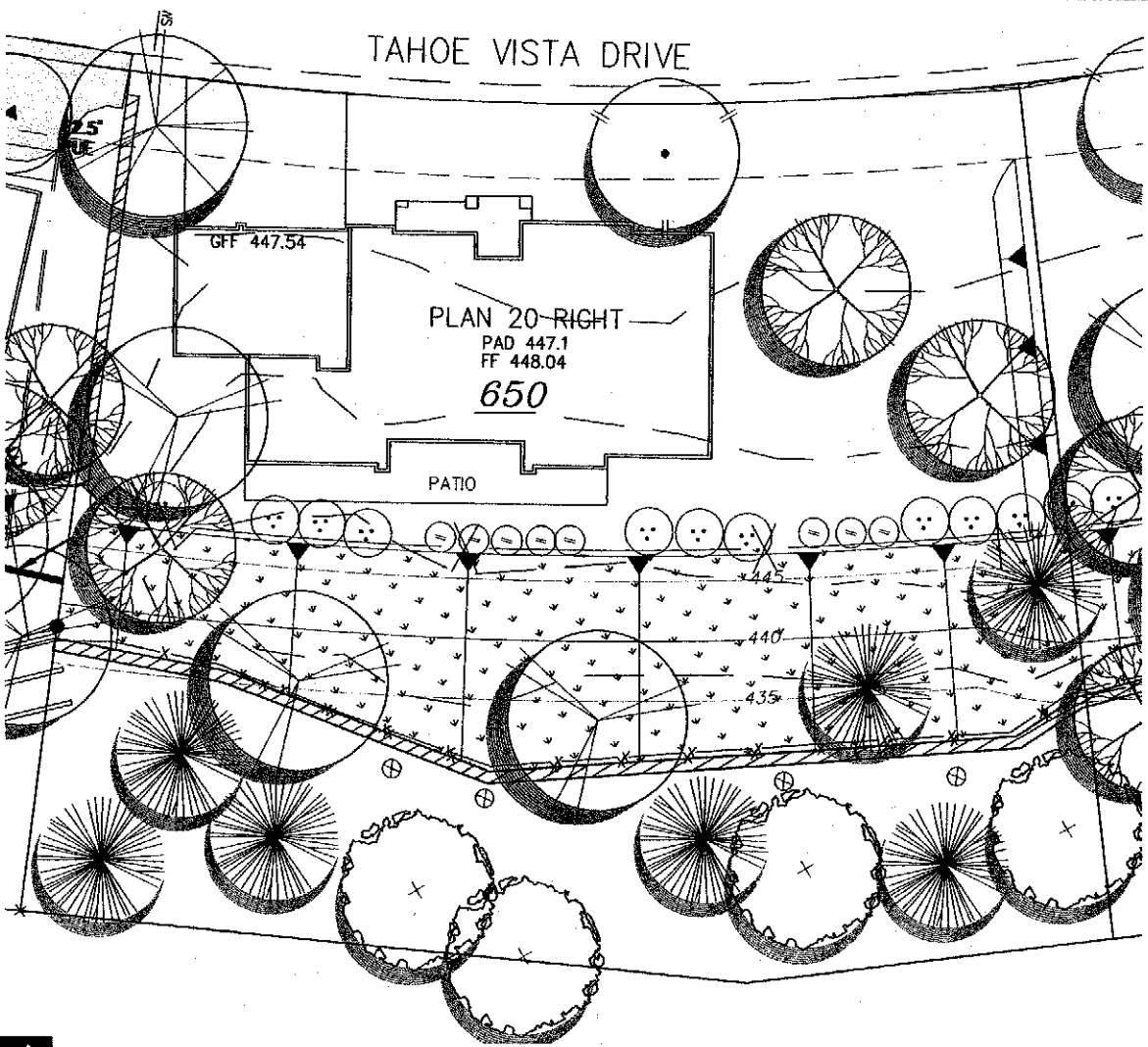
PLAN 20
 SQ. FT. 2,564
 SCALE: 1/4" = 1'-0"
 DATE: 12-14-01
 JOB NO. 99026



LANDSCAPE PLANS



TAHOE VISTA DRIVE



GFF 447.54

PLAN 20-RIGHT
PAD 447.1
FF 448.04
650

PATIO

PLANT LIST AND LEGEND

TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
PLAT		PLATANUS A. 'DOODWOOD' LONDON PLANE TREE	24" BOX
PYRC		PYRUS C. 'CAPITAL' FLOWERING PEAR	24" BOX
CEDD		CEDRUS DEODORA DEODAR CEDAR	15 G
CHT		CHITALPA TASHKENTENSIS CHITALPA	15 G
CMP		CAMPHORUM CAMPHORA CAMPHOR TREE	15 G
QLEW		QUERCUS WISLIZENI INTERIOR LIVE OAK	15 G
SHRUBS			
CEAJ		CEANOTHUS G. HORIZONTALIS CAMEL CREEPER	5 B
GREV		GREVILLEA NOELLI HUMMINGBIRD BUSH	5 C
OSP		OSMUNDA CINNAMOMEA ORCHID SPOT ROCKROSE	5 C
PITY		PITTOSPORUM T. 'VAREGATA' VAREGATED MOCK ORANGE	5 C
PART		PARTINOCISSUS TRICUSPIDATA BOSTON IVY	1 G
GROUND COVERS			
		HYDROSEEDED NATIVE GRASSES WHITNEY OAKS CUT/FALL ERIGON CONTROL MIX 60% ZORRO ANNUAL FESCUE 30% 'HYKON' ROSE CLOVER 10% LOW PROFILE DRYLAND WILDFLOWER MIX	HYDROSEEDED 30 LBS./ACRE

IMPORTANT NOTE:

IN ADDITION TO THE AREAS INDICATED ON THE PLANS, ALL AREAS BEYOND THE RETAINING WALLS THAT HAVE BEEN DISTURBED SHALL ALSO RECEIVE HYDROSEED TREATMENT.

NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL.

PULTE HOME CORPORATION
ROCKLIN, CA

Δ	1/24	TREE SPECIES	SF
Δ	--	TREE SPECIES	SF
Δ	8/28/02	CITY PC	SF
Δ	3/03	CITY PC	SF
Δ			
REV.	DATE	DESCRIPTION	BY

WHITNEY OAKS

CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA

LANDSCAPE IMPROVEMENTS
SPRINGFIELD @ WHITNEY OAKS
UNIT 28A LOTS 650-651

PLANTING PLAN

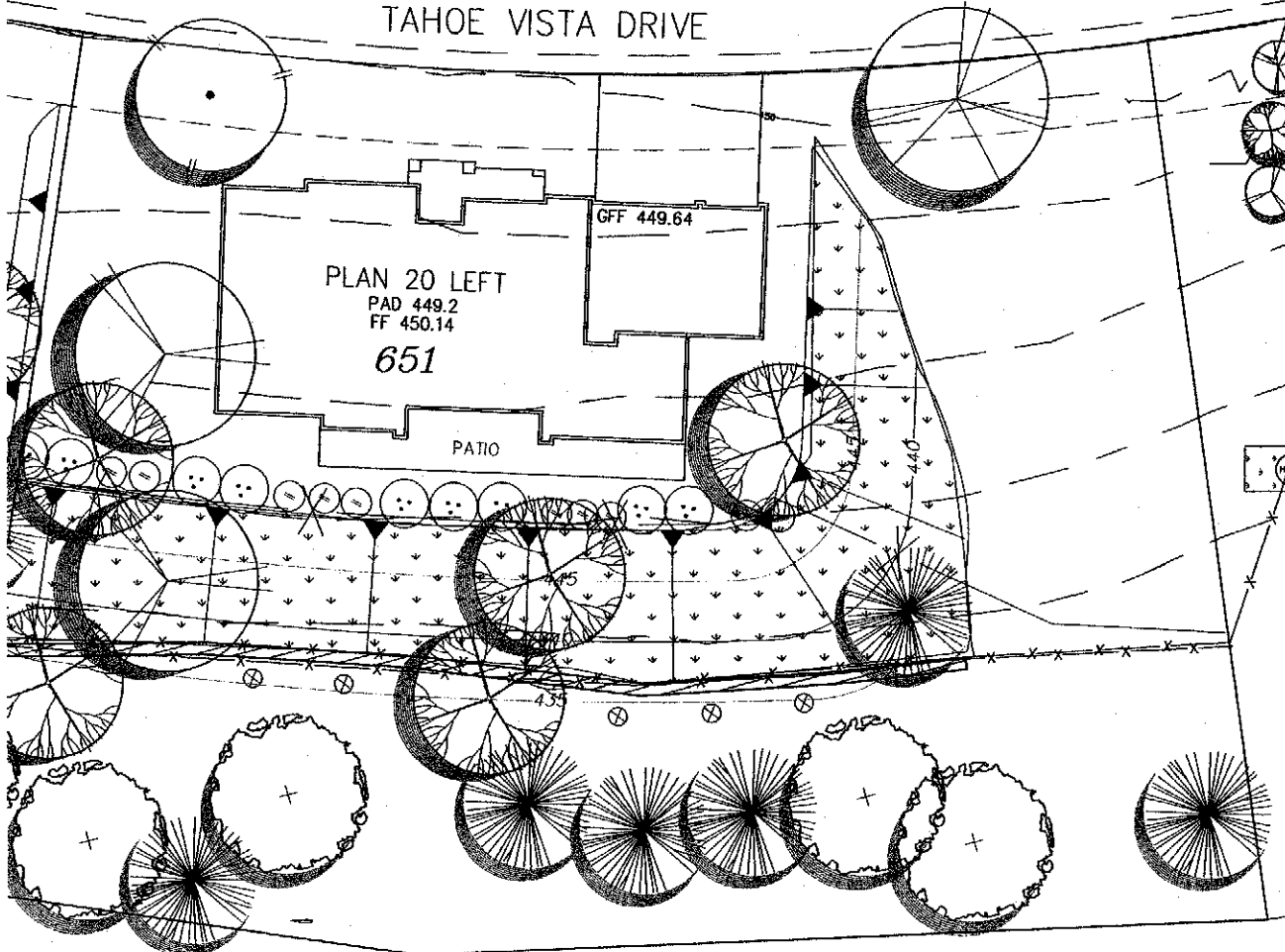


DESIGNED BY: SF
DRAWN BY: SF
CHECKED BY: SF
DATE: 12/10/01
PROJECT #: PH-000000
SCALE: 1" = 20' 0"

LAND ARCHITECTURE
Kelly F. Fuhman, Inc.
720 Sunrise Avenue, Suite 200B
Rocklin, California 95676
(916) 786-2838 FAX (916) 794-2582

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TAHOE VISTA DRIVE



PLANT LIST AND LEGEND

TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
PLAT		PLATANUS A. 'BLOODGOOD' LONDON PLANE TREE	24" BOX
PYRC		PYRUS C. 'CAPITAL' FLOWERING PEAR	24" BOX
CEDE		CEDRUS DEODORA DEODAR CEDAR	15 G
CHT		CHITALPA TASHKENTENSIS CHITALPA	15 G
CINC		CINNAMOMUM CAMPHORA CAMPHOR TREE	15 G
QUER		QUERCUS WISLIZENII INTERIOR LIVE OAK	15 G
SHRUBS			
CEAJ		CEANOTHUS G. HORIZONTALIS CARMEL CREEPER	5 G
GREY		GREVILLEA NODOSA HUMMINGBIRD BUSH	5 G
CISP		CISTUS PURPUREUS ORCHID SPOT ROCKROSE	5 G
PITV		PITOSPORIUM T. 'VAREGATA' VAREGATED MACK ORANGE	5 G
PART		PARTHENOCESSUS TRICUSPIDATA BOSTON IVY	1 G

GROUND COVERS

HYDROSEEDED NATIVE GRASSES
WHITNEY OAKS CUT/FILL EROSION CONTROL MIX
80% ZORRO ANNUAL FESCUE
20% HYKON ROSE CLOVER
10% LOW PROFILE DRYLAND WILDFLOWER MIX

HYDROSEEDED 30 LBS./ACRE

IMPORTANT NOTE:
IN ADDITION TO THE AREAS INDICATED ON THE PLANS, ALL AREAS BEYOND THE RETAINING WALLS THAT HAVE BEEN DISTURBED SHALL ALSO RECEIVE HYDROSEED TREATMENT.

NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL



▲	11/24/07	TREE SPECIES	SF
▲	-	TREE SPECIES	SF
▲	8/28/02	CITY PC	SF
▲	1/23/03	CITY PC	SF
▲			
REV	DATE	DESCRIPTION	BY

WHITNEY OAKS
CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA

LANDSCAPE IMPROVEMENTS
SPRINGFIELD @ WHITNEY OAKS
UNIT 28A LOTS 650-651
PLANTING PLAN



DESIGNED BY: SF
DRAWN BY: SF
CHECKED BY: SF
DATE: 12/10/01
PROJECT #: 011-00028
SCALE: 1" = 20'-0"

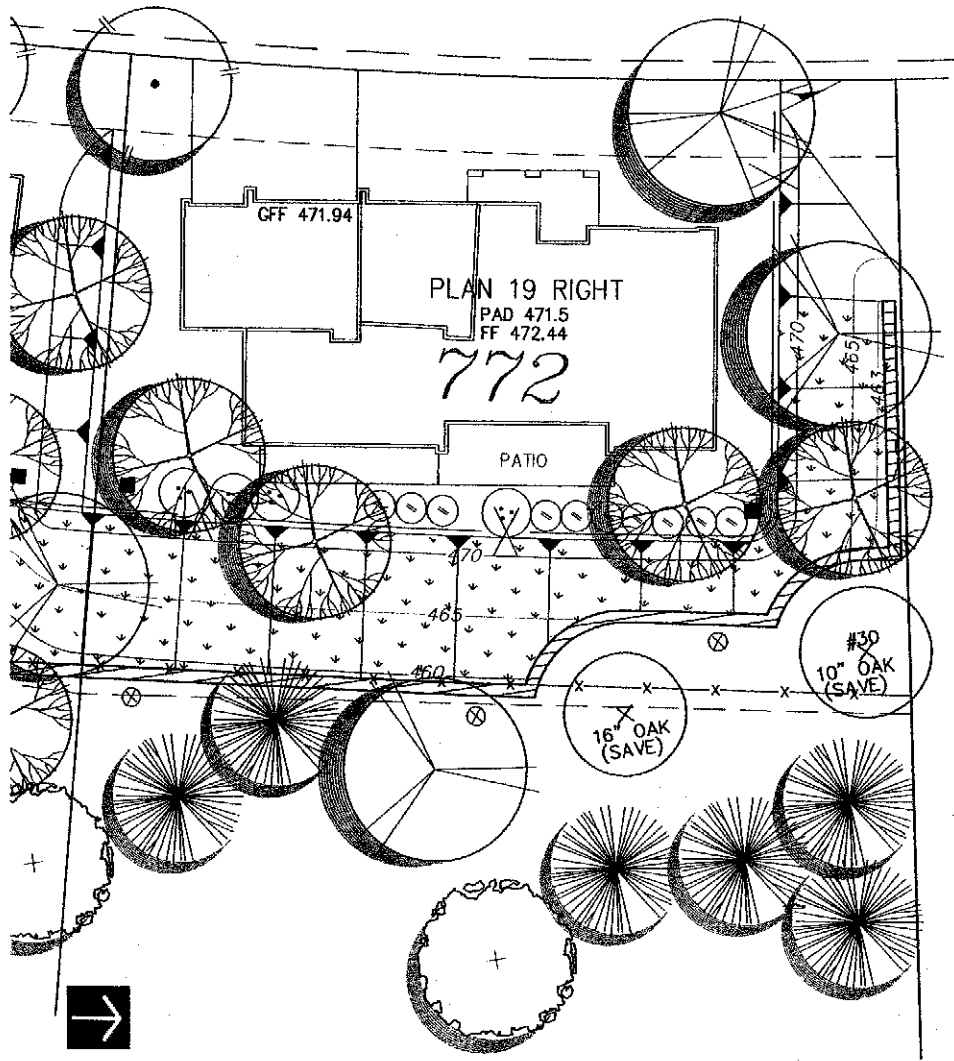


LAND ARCHITECTURE
Kelly Fuhrman, Inc.
720 Sunrise Avenue, Suite 200B
Rocklin, California 95765
(916) 796-2850 FAX (916) 796-2852

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PLANT LIST AND LEGEND

TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
PLAT		PLATANUS A. 'BLOODGOOD' LONDON PLANE TREE	24" BOX
PYRC		PYRUS C. 'CAPITAL' FLOWERING PEAR	24" BOX
CEDD		CEDRUS DEODORA DEODAR CEDAR	15 G
CHT		CHITALPA TASHKENTENSIS CHITALPA	15 G
CNC		CINNAMOMUM CAMPHORA CAMPHOR TREE	15 G
QWUW		QUERCUS WISLIZENII INTERIOR LIVE OAK	15 G
SHRUBS			
CEAJ		CEANOTHUS G. HORIZONTALIS CARMEL CREPPER	5 G
GREV		GREVILLEA NOELII HUMMINGBIRD BUSH	5 G
CISP		CISTUS PURPUREUS ORCHID SPOT ROCKROSE	5 G
PTV		PITIOSPORUM T. 'VARIEGATA' VARIEGATED HOOK ORANGE	5 G
PART		PARTHENOCESSUS TRICUSPIDATA BOSTON IVY	1 G
GROUND COVERS			
	HYDROSEEDED NATIVE GRASSES		HYDROSEEDED 30 LBS./ACRE
	WHITNEY OAKS CUT/FILL EROSION CONTROL MIX 50% ZORRO ANNUAL FESCUE 30% 'HYKON' ROSE CLOVER 10% LOW PROFILE DRYLAND WILDFLOWER MIX		

IMPORTANT NOTE:

IN ADDITION TO THE AREAS INDICATED ON THE PLANS, ALL AREAS BEYOND THE RETAINING WALLS THAT HAVE BEEN DISTURBED SHALL ALSO RECEIVE HYDROSEED TREATMENT.

NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL.

▲	1/25/01	TREE SPECIES	SF
▲	8/28/01	TREE SPECIES	SF
▲	8/28/01	CITY PC	SF
▲	1/1/03	CITY PC	SF
▲			
▲			
REV	DATE	DESCRIPTION	BY

WHITNEY OAKS
CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA

LANDSCAPE IMPROVEMENTS
SPRINGFIELD @ WHITNEY OAKS
UNIT 28B LOTS 772-779
PLANTING PLAN

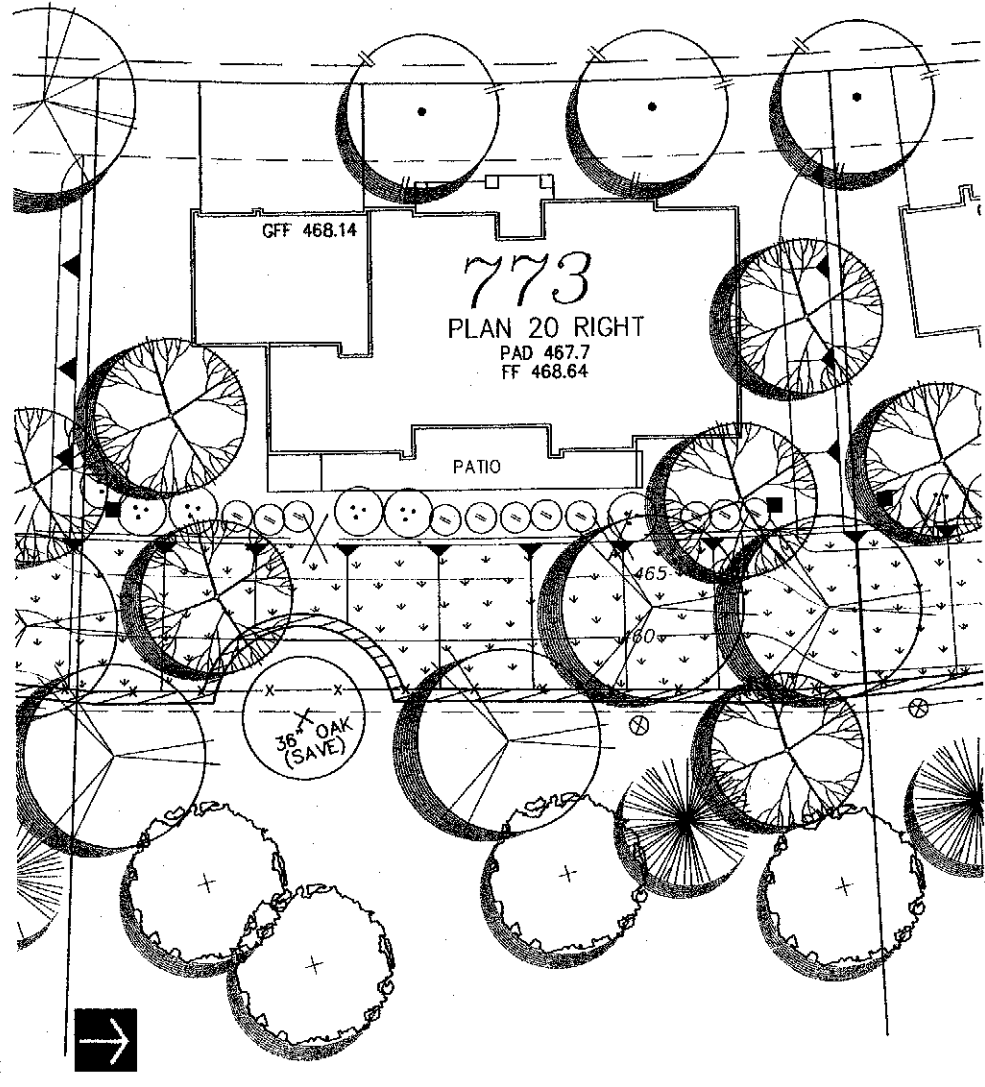


DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: 12/10/01
PROJECT #: 01-110-228
SCALE: 1" = 20' 0"

LAND ARCHITECTURE
Kelly & Fuhrman, Inc.
720 Sunrise Avenue, Suite 200
Rocklin, California 95671
(916) 766-2858 Fax (916) 766-2857

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PLANT LIST AND LEGEND

TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
PLAT		PLATANUS A. 'BLOODGOOD' LONDON PLANE TREE	24" BOX
PYRC		PYRUS C. 'CAPITAL' FLOWERING PEAR	24" BOX
GEDD		CEDRUS DEODORA DEODAR CEDAR	15 G
CHIT		CHITALPA TASHKENTENSIS CHITALPA	15 G
CINC		CINNAMOMUM CAMPHORA CAMPHOR TREE	15 G
QUER		QUERCUS WISLIZENII ALTEDOR LIVE OAK	15 G
SHRUBS			
DEAJ		CEANOTHUS C. HORIZONTALIS CAMEL CREEPER	5 G
GREV		GREVALLEA NOEELLI HAWAIIAN BUSH	5 G
ORSP		OSTRYA PURPUREALIS ORCHARD SPOT ROCKROSE	5 G
PITY		PITIOSPORUM T. 'VAREGATA' VAREGATED MOCK ORANGE	5 G
PART		PARTHENOCESSUS TRICUSPIDATA BOSTON IVY	1 G
GROUND COVERS			
	HYDROSEEDED NATIVE GRASSES		HYDROSEEDED 30 LBS./ACRE
	WHITNEY OAKS CUT/FILL EROSION CONTROL MIX 60% ZORRO ANNUAL FESCUE 30% TYKOH ROSE CLOVER 10% LOW PROFILE DRYLAND WILDFLOWER MIX		

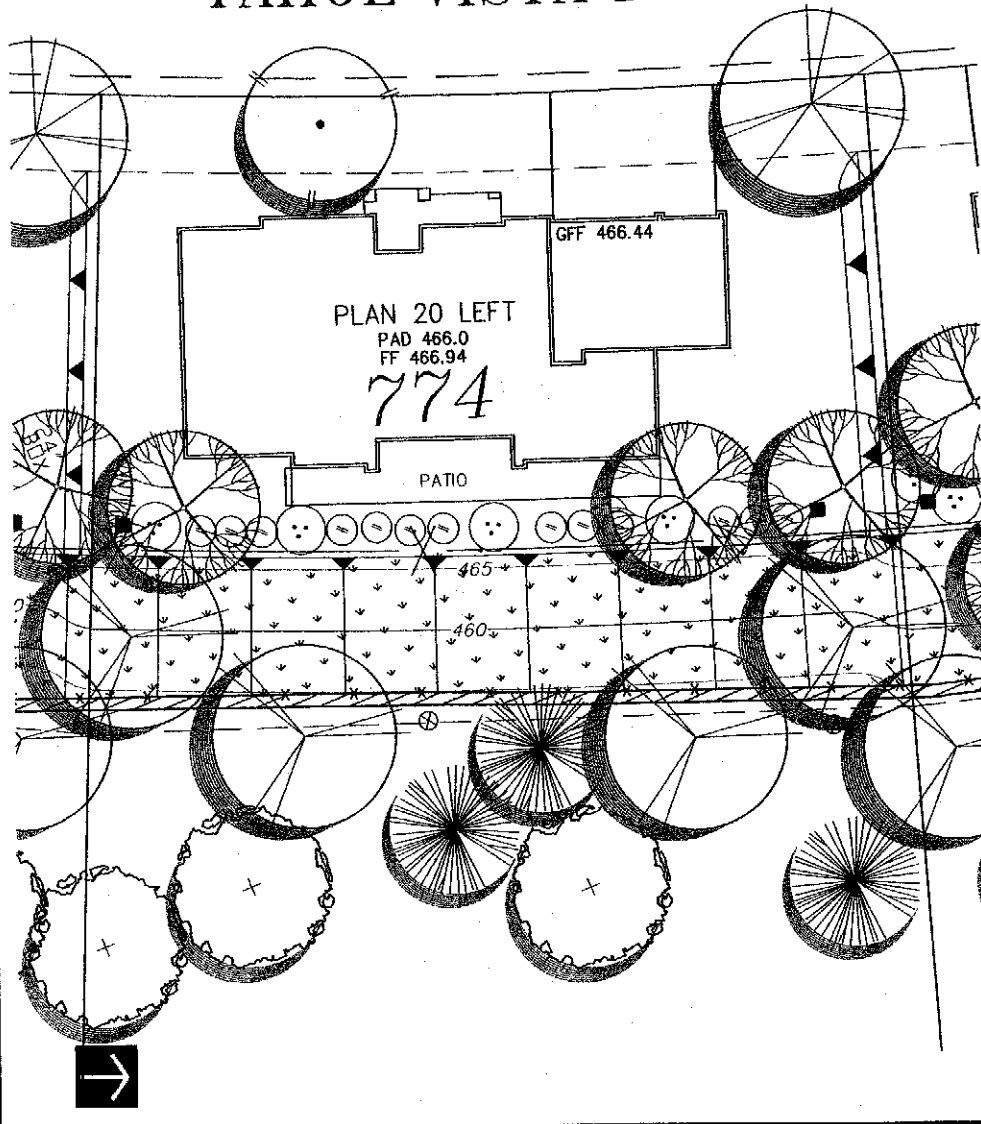
IMPORTANT NOTE:

IN ADDITION TO THE AREAS INDICATED ON THE PLANS, ALL AREAS BEYOND THE RETAINING WALLS THAT HAVE BEEN DISTURBED SHALL ALSO RECEIVE HYDROSEED TREATMENT.

NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL

PULTE HOME CORPORATION ROCKLIN, CA	1/25/01 TREE SPECIES SF	<h2>WHITNEY OAKS</h2> CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA	LANDSCAPE IMPROVEMENTS SPRINGFIELD @ WHITNEY OAKS UNIT 28B LOTS 772-779 PLANTING PLAN		DESIGNED BY: SF	LAND ARCHITECTURE Kelly + Fehrmann, Inc. 720 Sunrise Avenue, Suite 200 Rocklin, California 95765 (916) 788-2008 FAX (916) 788-2009	SHEET LP2 OF 8
	3/28/01 CITY PC SF				CHECKED BY: SF		DATE: 12/10/01
3/23/01 CITY PC SF	REV DATE DESCRIPTION BY						

TAHOE VISTA DRIVE TAI



PLANT LIST AND LEGEND

TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
	PLAT	PLATANUS A. 'BLOODGOOD' LONDON PLANE TREE	24" BOX
	PYRC	PYRUS C. 'CAPITAL' FLOWERING PEAR	24" BOX
	CEDD	CEDRUS DEODORA DEODAR CEDAR	15 G
	CHT	CHITALPA TASHKENTENSIS CHITALPA	15 G
	CNC	CINNAMOMUM CAMPHORA CAMPHOR TREE	15 G
	QUER	QUERCUS WISLIZNEI INTERIOR LIVE OAK	15 G
SHRUBS			
	CEAJ	CEANOTHUS G. HORIZONTALIS CARMEL CREEPER	5 G
	GREV	GREVILLEA NOELII HUMANNAGORD BUSH	5 G
	OSP	OSTEUUM PURPUREUM ORCHID SPOT ROCKROSE	5 G
	PITY	PITTOSPORUM T. 'VARIEGATA' VARIEGATED MUCK ORANGE	5 G
	PART	PARTHENOCISSUS TRICUSPIDATA BOSTON IVY	1 G
GROUND COVERS			
	(HYD)	HYDROSEEDED NATIVE GRASSES WHITNEY OAKS CUT/FILL EROSION CONTROL MIX 80% ZORRO ANNUAL FESCUE 30% 'HYKON' ROSE CLOVER 10% LOW PROFILE DRYLAND WILDFLOWER MIX	HYDROSEEDED 30 LBS./ACRE

IMPORTANT NOTE:

IN ADDITION TO THE AREAS INDICATED ON THE PLANS, ALL AREAS BEYOND THE RETAINING WALLS THAT HAVE BEEN DISTURBED SHALL ALSO RECEIVE HYDROSEED TREATMENT.

NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL.

PULTE HOME CORPORATION
ROCKLIN, CA

REV.	DATE	DESCRIPTION	BY
1	11/24/01	TREE SPECIES	SF
2	8/28/02	TREE SPECIES	SF
3	8/28/02	CITY PG	SF
4	2/3/03	CITY PG	SF

WHITNEY OAKS

CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA

LANDSCAPE IMPROVEMENTS
SPRINGFIELD @ WHITNEY OAKS
UNIT 28B LOTS 772-779

PLANTING PLAN



DESIGNED BY: SF
DRAWN BY: SF
CHECKED BY: SF
DATE: 12/10/01
PROJECT #: 011-00000
SCALE: 1" = 20'-0"

0 20'

LAND ARCHITECTURE
Kelly + Fuhrman, Inc.

730 Franklin Avenue, Suite 200
Folsom, California 95630
(916) 766-2256 FAX (916) 796-2256

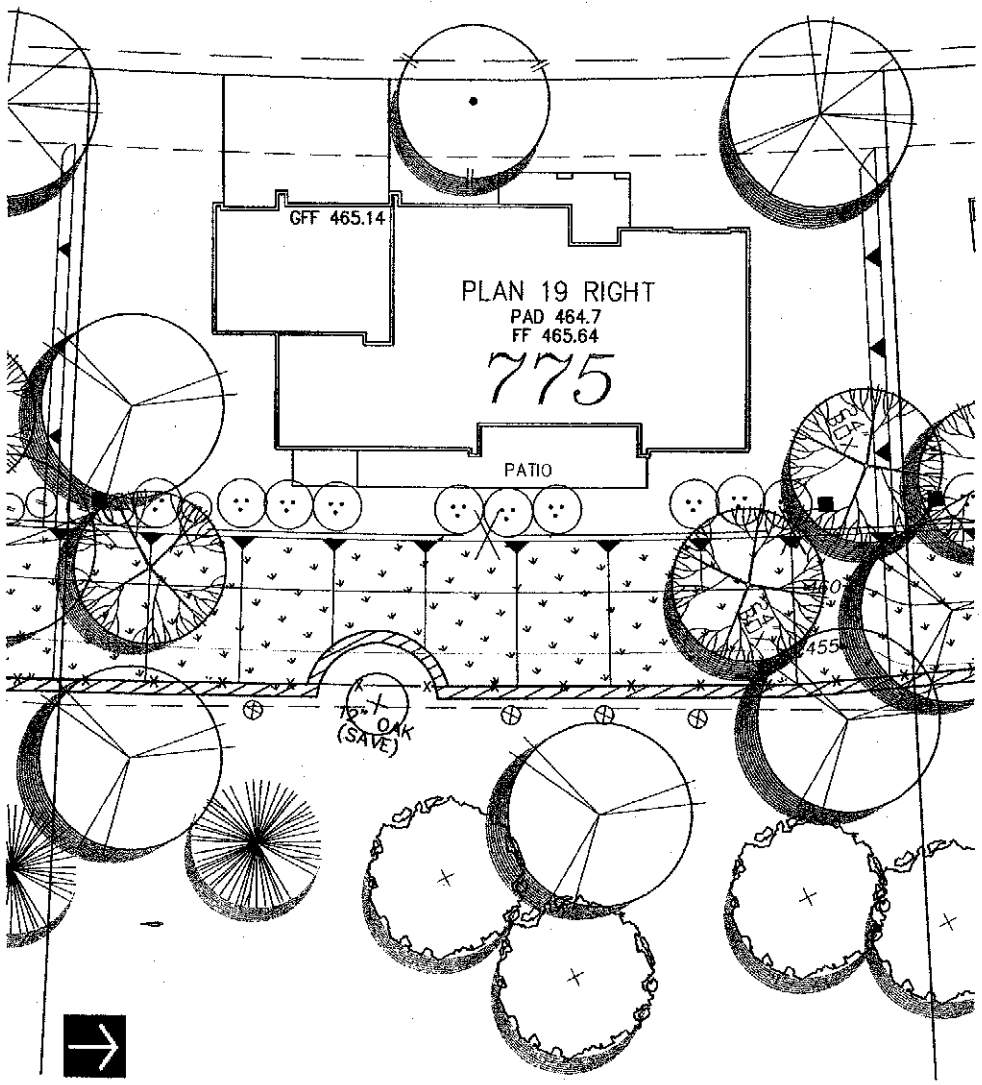
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TAHOE VISTA DRIVE



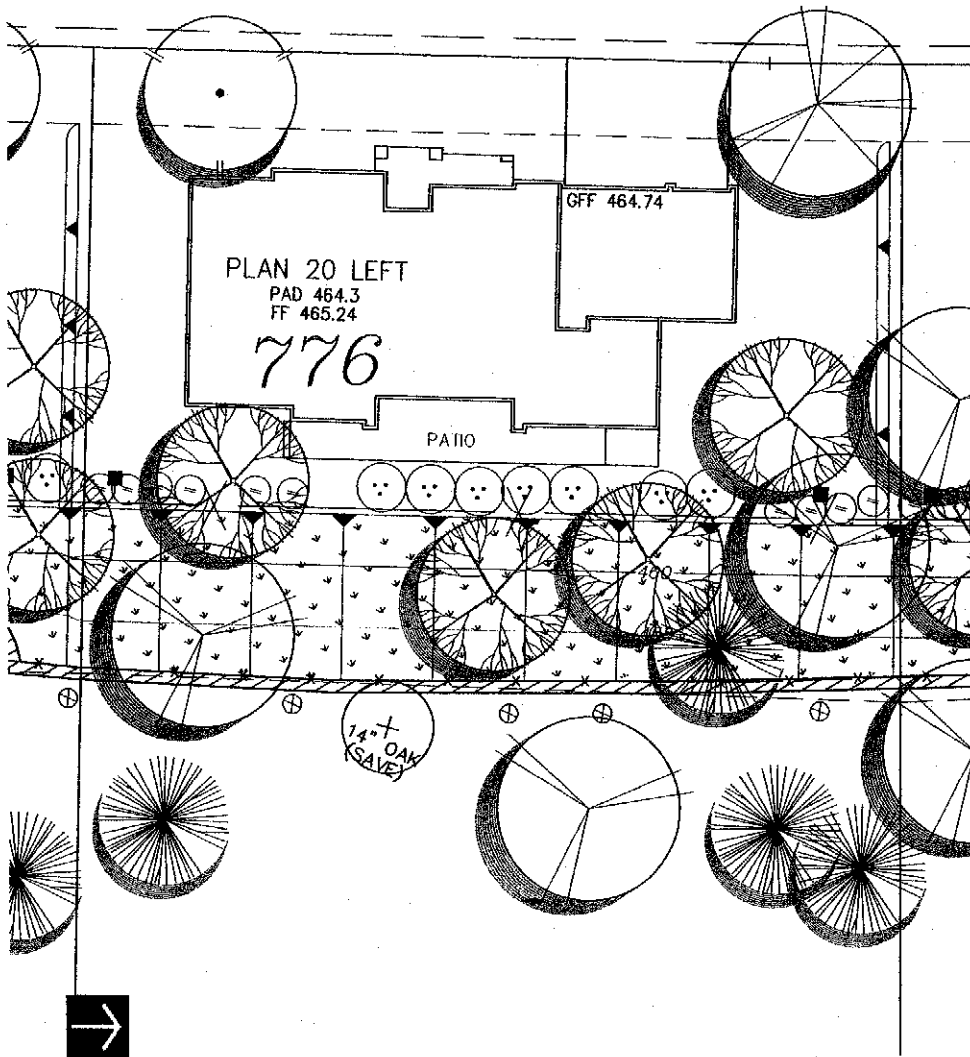
PLANT LIST AND LEGEND

TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
	PLAT	PLATANUS A. 'BLOODGOOD' LONDON PLANE TREE	24" BOX
	PYRC	PYRUS C. 'CAPITAL' FLOWERING PEAR	24" BOX
	QEDD	QEDRUS DEODORA QEDDAR CEDAR	15 G
	QNT	QNTALPA TASKENTENSIS QNTALPA	15 G
	QNC	QNHAMMUM CAMPHORA CAMPHOR TREE	15 G
	QLEW	QUERCUS WISLIZNEI INTERIOR LIVE OAK	15 G
SHRUBS			
	CEAJ	CEANOTHUS C. HORIZONTALIS CARMEL CREEPER	5 G
	GREV	GREVILLEA NOELII HAMMINGERD BUSH	5 G
	OSP	CISTUS PURPUREUS ORCHID SPOT ROSE ROSE	5 G
	PTV	PITTOSPORUM T. 'VAREGATA' VAREGATED WOOD ORANGE	5 G
	PART	PARTHENOCISSUS TROUSPIDATA BOSTON IVY	1 G
GROUND COVERS			
		HYDROSEEDED NATIVE GRASSES	HYDROSEEDED 30 LBS./ACRE
		WHITNEY OAKS CUT/FILL EROSION CONTROL MIX	
		60% ZORRO ANNUAL FESCUE	
		30% 'HYKOW' ROSE CLOVER	
		10% LOW PROFILE DRYLAND WILDFLOWER MIX	

IMPORTANT NOTE:
 IN ADDITION TO THE AREAS INDICATED ON THE PLANS, ALL AREAS BEYOND THE RETAINING WALLS THAT HAVE BEEN DISTURBED SHALL ALSO RECEIVE HYDROSEED TREATMENT.
NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL.

PULTE HOME CORPORATION ROCKLIN, CA	1/25/02 TREE SPECIES SF 1/25/02 TREE SPECIES SF 8/28/02 CITY PC SF 1/23/03 CITY PC SF	WHITNEY OAKS LANDSCAPE IMPROVEMENTS SPRINGFIELD @ WHITNEY OAKS UNIT 28B LOTS 772-779	DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ DATE: 12/10/02 PROJECT #: 121-00028 SCALE: 1" = 20' 0"	SHEET LP4 OF 8
	REV. DATE DESCRIPTION BY	CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA	PLANTING PLAN	LAND ARCHITECTURE Kelly - Fuhrman, Inc. 720 Sutter Avenue, Suite 200 Rocklin, California 95765 (916) 766-2655 FAX (916) 766-3888

TAHOE VISTA DRIVE



PLANT LIST AND LEGEND

TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
		PLATANUS A. 'BLOODGOOD' LONDON PLANE TREE	24" BOX
		PYRUS C. 'CAPITAL' FLOWERING PEAR	24" BOX
		CEDRUS DEODORA DEODAR CEDAR	15 G
		CHITALPA TASHKENTENSIS CHITALPA	15 G
		CHAMAECYPARIS NANA CAMPHOR TREE	15 G
		QUERCUS WISLIZENII INTERIOR LIVE OAK	15 G
SHRUBS			
		DIANTHUS C. HORIZONTALIS CAMEL CREEPER	5 G
		GREVILLEA NOELLI HUMMINGBIRD BUSH	5 G
		CISTUS PURPUREUS CREOSOTE BUSH	5 G
		PITTOSPORUM T. 'VARIEGATA' VARIEGATED MOOR ORANGE	5 G
		PARTHENOCESSUS TRICUSPIDATA BOSTON IVY	1 G
GROUND COVERS			
		HYDROSEEDED NATIVE GRASSES	30 LBS./ACRE
		WHITNEY OAKS CUT/FILL EROSION CONTROL MIX	
		50% ZOISITE ANNUAL FESCUE	
		50% WYONIK ROSE CLOVER	
		10% LOW PROFILE DRYLAND WILDFLOWER MIX	

IMPORTANT NOTE:

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NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL

PULTE HOME CORPORATION
ROCKLIN, CA

1/25/01	TREE SPECIES	SF	
2/28/02	TREE SPECIES	SF	
3/28/02	CITY PC	SF	
1/3/03	CITY PC	SF	
REV	DATE	DESCRIPTION	BY

WHITNEY OAKS
CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA

LANDSCAPE IMPROVEMENTS
SPRINGFIELD @ WHITNEY OAKS
UNIT 28B LOTS 772-779
PLANTING PLAN

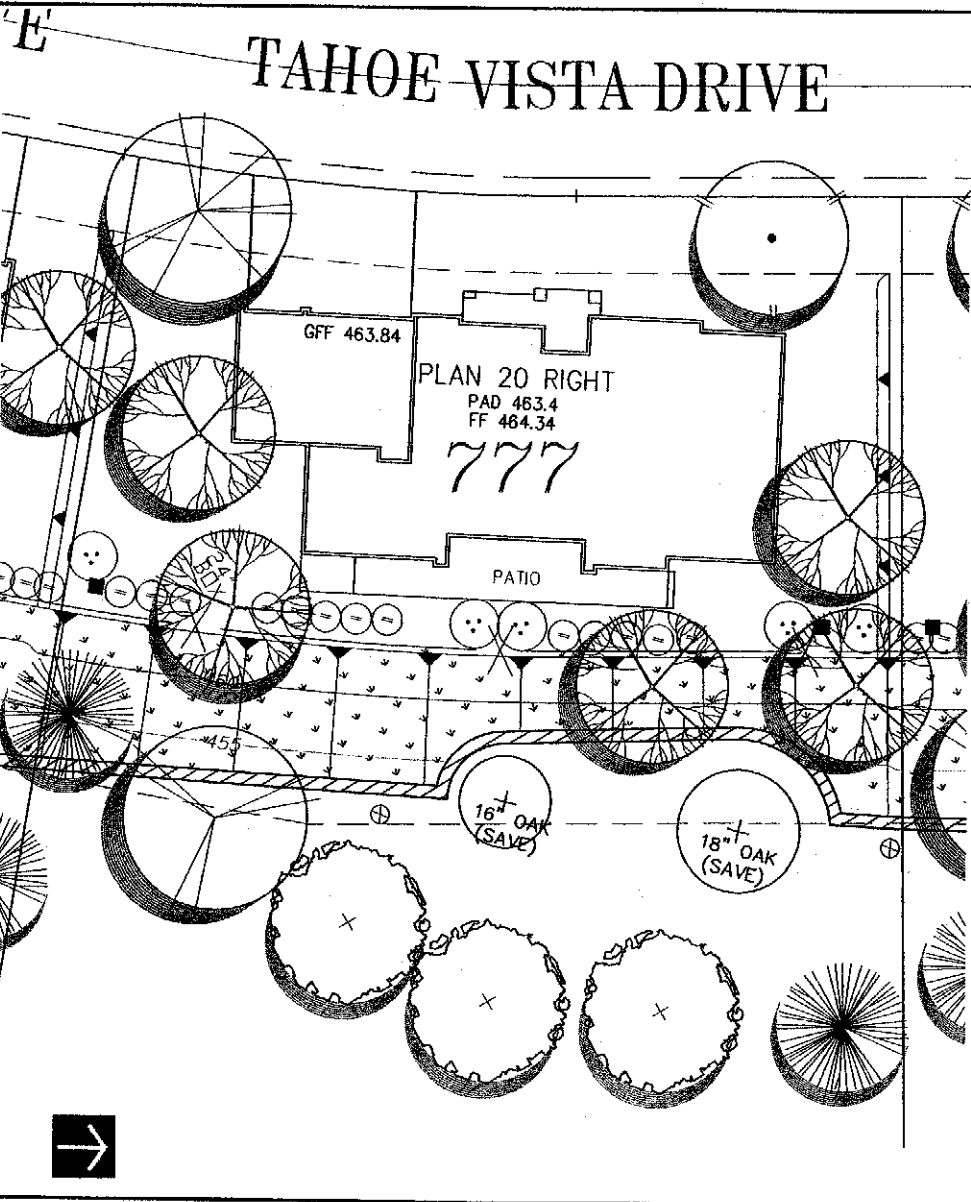


DESIGNED BY: SE
DRAWN BY: SE
CHECKED BY: SE
DATE: 12/10/01
PROJECT #: 99-00025
SCALE: 1/8" = 1'-0"



LAND ARCHITECTURE
Kelly Fuhrman, Inc.
720 Sunrise Avenue, Suite 208
Rocklin, California 95765
(916) 786-2868 Fax (916) 786-2867

SHEET
LP5
OF
8



PLANT LIST AND LEGEND

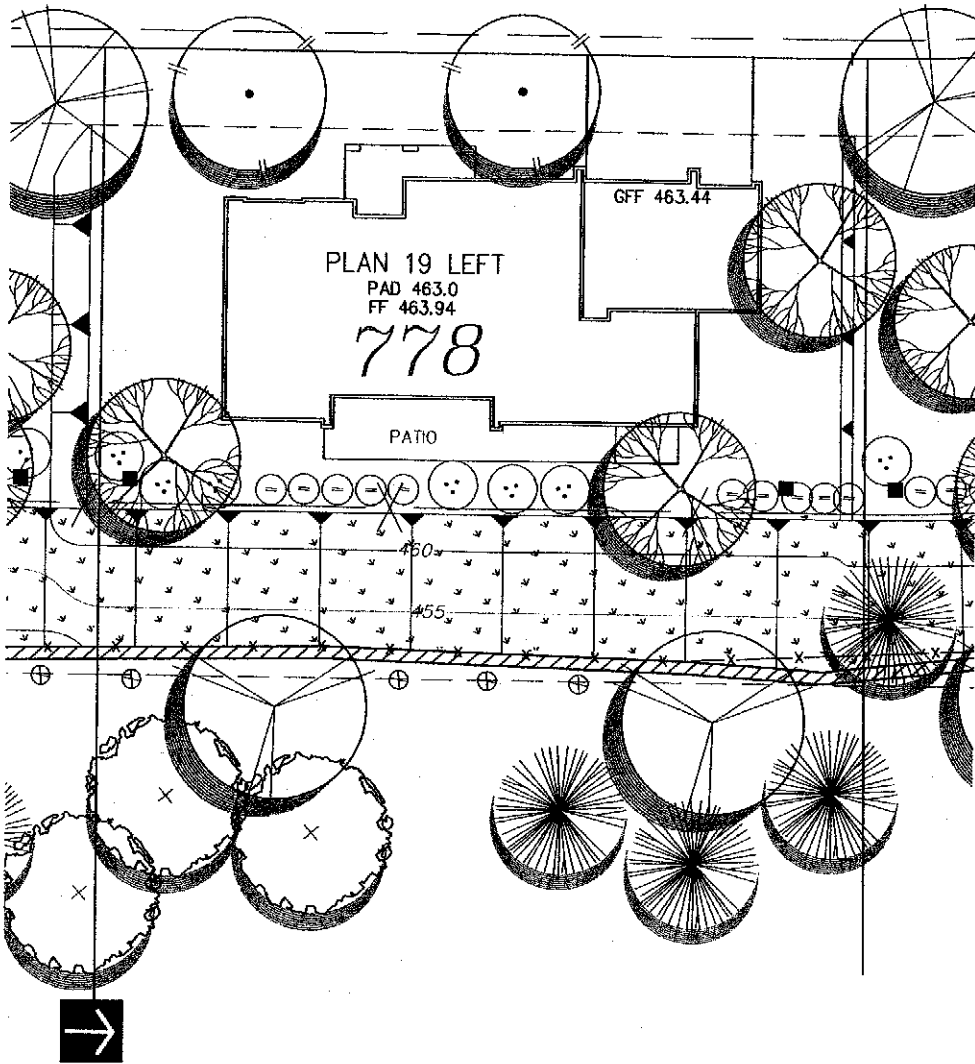
TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
PLAT	(Symbol)	PLATANUS A. 'BLOODWOOD' LONDON PLANE TREE	24" BOX
PYRC	(Symbol)	PYRUS C. 'CAPITAL' FLOWERING PEAR	24" BOX
CEDD	(Symbol)	CEDELIUS DECODRA DEODAR CEDAR	15 G
ORT	(Symbol)	ORTALPA TASHKENTENSIS ORTALPA	15 G
CNC	(Symbol)	ORNANOMUM CAMPHORA CAMPHOR TREE	15 G
QUER	(Symbol)	QUERCUS WISLIZNERI INTERIOR LIVE OAK	15 G
SHRUBS			
CEA	(Symbol)	CEANOTHUS G. HORIZONTALIS CARBON CREEPER	5 G
GREV	(Symbol)	GREVILLEA NOBLEI HELMSCHEIDT BUSH	5 G
CSP	(Symbol)	CECELIS PURPUREUS URICED SPOT ROCKROSE	5 G
PTV	(Symbol)	PHYTOSPORUM I. 'VAREGATA' VAREGATED MOCK ORANGE	5 G
PART	(Symbol)	PARTHENOCISSUS TRICUSPIDATA BOSTON IVY	1 G
GROUND COVERS			
(Symbol)		HYDROSEEDED NATIVE GRASSES	HYDROSEEDED 30 LBS./ACRE
(Symbol)		WHITNEY OAKS CUT/FILL EROSION CONTROL MIX	
(Symbol)		60% ZORRO ANNUAL FESCUE	
(Symbol)		30% HYKON ROSE CLOVER	
(Symbol)		10% LOW PROFILE DRYLAND WILDFLOWER MIX	

IMPORTANT NOTE:
 IN ADDITION TO THE AREAS INDICATED ON THE PLANS, ALL AREAS BEYOND THE RETAINING WALLS THAT HAVE BEEN DISTURBED SHALL ALSO RECEIVE HYDROSEED TREATMENT.
NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL.

PULTE HOME CORPORATION ROCKLIN, CA	11/25/02 TREE SPECIES SF 11/25/02 TREE SPECIES SF 8/28/02 CITY PC SF 1/3/03 CITY PC SF	WHITNEY OAKS LANDSCAPE IMPROVEMENTS SPRINGFIELD @ WHITNEY OAKS UNIT 28B LOTS 772-779	DESIGNED BY: SE DRAWN BY: SE CHECKED BY: SE DATE: 12/10/01 PROJECT #: 11-010028 SCALE: 1" = 20' 0"	LAND ARCHITECTURE Kelly Fuhrman, Inc. 750 Sunrise Avenue, Suite 200 Colusa, CA 95619 (916) 786-2154 FAX (916) 786-2352	SHEET LP6 OF 8
	REV DATE DESCRIPTION BY	CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA PLANTING PLAN			

TAHOE VISTA DRIVE

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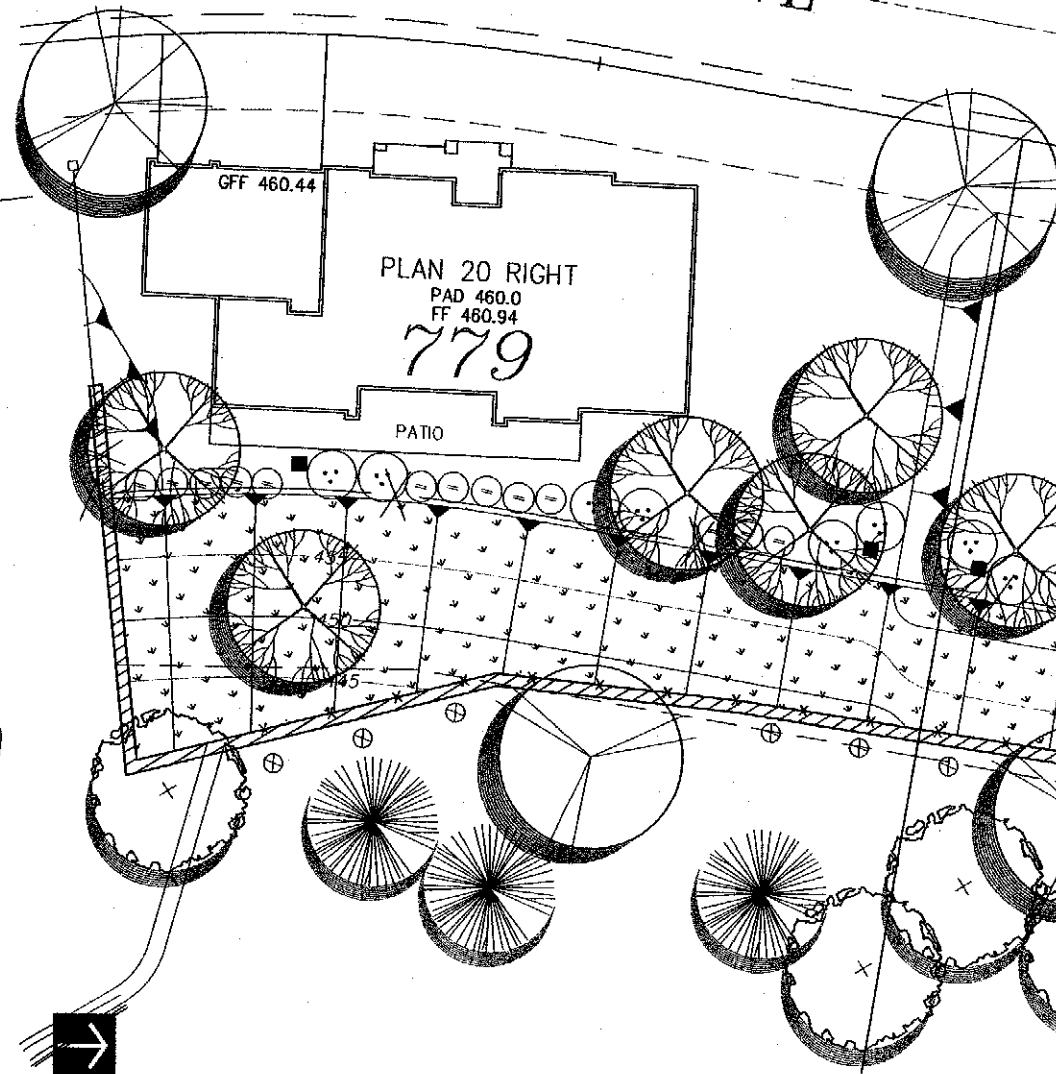
PLANT LIST AND LEGEND

TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
PLAT		PLATANUS A. 'OLDGODD'	24" BOX
		LONDON PLANE TREE	
PIRC		PIRUS G. 'CAPITAL'	24" BOX
		FLOWERING PEAR	
CEDD		CEDRUS DEODORA	15 G
		CEDAR CEDAR	
CHIT		CHITALPA TASHKENTENSIS	15 G
		CHITALPA	
CINC		CINNAMOMUM CAMPHORA	15 G
		CAMPHOR TREE	
QREW		QUERCUS WISLIZNEI	15 G
		INTERIOR LIVE OAK	
SHRUBS			
CEAJ		CEANOTHUS G. HORIZONTALIS	5 G
		CARMEL CREEPER	
GREV		GREVILLEA HOELLI	5 G
		HUMBLED BUSH	
CISP		OSTIA PURPUREUS	5 G
		ORCHID SPOT ROCKROSE	
PITY		PITTOSPORUM T. 'VAREGATA'	5 G
		VAREGATED MOCK ORANGE	
PART		PARTHENOCESSUS TRICUSPIDATA	1 G
		BOSTON IVY	
GROUND COVERS			
		HYDROSEEDED NATIVE GRASSES	HYDROSEEDED 30 LBS./ACRE
		WHITNEY OAKS CUT/FILL EROSION CONTROL MIX	
		ROSE ZORRO ANNUAL FESCUE	
		SOX 'TRIMON' ROSE CLOVER	
		10% LOW PROFILE DRYLAND WILDFLOWER MIX	

IMPORTANT NOTE:
 IN ADDITION TO THE AREAS INDICATED ON THE PLANS, ALL AREAS BEYOND THE RETAINING WALLS THAT HAVE BEEN DISTURBED SHALL ALSO RECEIVE HYDROSEED TREATMENT.
NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL.

PULTE HOME CORPORATION ROCKLIN, CA	1/25/03 TREE SPECIES SF 1/25/03 TREE SPECIES SF 8/28/02 CITY PC SF 1/2/03 CITY PC SF	WHITNEY OAKS LANDSCAPE IMPROVEMENTS SPRINGFIELD @ WHITNEY OAKS UNIT 28B LOTS 772-779		DESIGNED BY: SF DRAWN BY: SF CHECKED BY: SF DATE: 12/10/01 PROJECT #: PH-00028 SCALE: 1" = 20'	LAND ARCHITECTURE Kelly Fehrmann, Inc. 730 Suenke Avenue, Suite 208 Rocklin, California 95671 (916) 756-2858 FAX (916) 756-2862	SHEET LP7 OF 8
	REV DATE DESCRIPTION BY			CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA PLANTING PLAN		

FAHOE VISTA DRIVE



PLANT LIST AND LEGEND

TREES	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
PLAT		PLATANUS A. 'BLOODGOOD' LONDON PLANE TREE	24" BOX
PYRC		PYRUS C. 'CAPITAL' FLOWERING PEAR	24" BOX
CEDD		CEDRUS DEODORA DEODAR CEDAR	15 0
CHT		CHITALPA FASMIENTENSIS CHITALPA	15 0
CRIC		CINNAMOMUM CAMPHORA CAMPHOR TREE	16 C
QLEW		QUERCUS WISLIZENI INTERIOR LIVE OAK	15 C
SHRUBS			
CEAJ		CEANOTHUS G. HORIZONTALIS CAMEL SCREEPER	5 C
GREV		GREVILLEA NOELLA HAMMINGBIRD BUSH	5 0
CSP		CISTUS PURPUREUS ORCHID SPOT ROCKROSE	5 0
PTIV		PITIOSPORUM T. 'VAREGATA' VAREGATED MOCK ORANGE	5 0
PART		PARTHENOCESSUS TRICUSPIDATA BOSTON IVY	1 G
GROUND COVERS			
	HYDROSEEDED NATIVE GRASSES		HYDROSEEDED 30 LBS./ACRE
	WHITNEY OAKS CUT/FILL EROSION CONTROL MIX		
	80% ZORRO ANNUAL FESCUE		
	30% THYON' ROSE CLOVER		
	10% LOW PROFILE DRYLAND WILDFLOWER MIX		

IMPORTANT NOTE:

IN ADDITION TO THE AREAS INDICATED ON THE PLANS, ALL AREAS BEYOND THE RETAINING WALLS THAT HAVE BEEN DISTURBED SHALL ALSO RECEIVE HYDROSEED TREATMENT.

NOTE: PROVIDE DRIP IRRIGATION TO BASE OF WALL

PULTE HOME CORPORATION
ROCKLIN, CA

REV	DATE	DESCRIPTION	BY
▲	1/25/01	TREE SPECIES	SF
▲		TREE SPECIES	SF
▲	8/28/02	CITY PC	SF
▲	1/3/03	CITY PC	SF
▲			

WHITNEY OAKS

CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA

LANDSCAPE IMPROVEMENTS
SPRINGFIELD @ WHITNEY OAKS
UNIT 28B LOTS 772-779

PLANTING PLAN



DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: 12/10/01
PROJECT #: 01-000000
SCALE: 1" = 20'



LAND ARCHITECTURE
Kelly Fehman, Inc.

720 Sunrise Avenue, Suite 200
Rocklin, California 95676
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SHEET

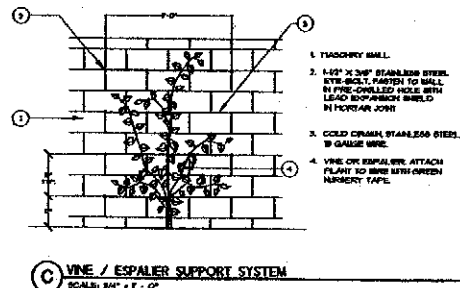
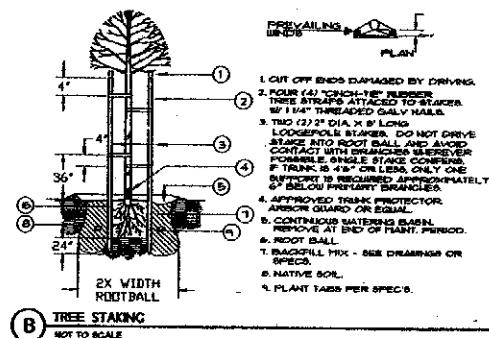
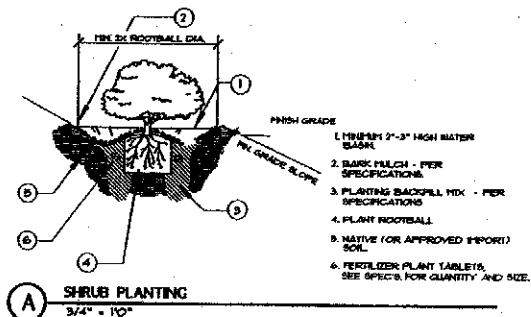
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GENERAL PLANTING NOTES

1. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
2. ALL TREES SHALL BE TAGGED AND/OR APPROVED BY OWNER & LANDSCAPE ARCHITECT. NURSERY SOURCES SHALL BE AT OWNER/LARCH. DISCRETION.
3. ALL SHRUB AND GROUND COVER AREAS SHALL BE TOP DRESSED WITH 2" LAYER OF "SHREDED" CEDAR BARK PER PLANS AND SPECIFICATIONS.
4. ALL TREES (EXCEPT IN TURF AREAS), SHRUBS AND GROUND COVERS (INCLUDING THOSE ON SLOPES) SHALL HAVE WATERING BASINS BUILT UP AT LEAST (2) TIMES THE DIAMETER OF THE ROOTBALL. TREES AND SHRUBS BASINS SHALL BE MIN. 3" HIGH. GROUND COVER BASINS SHALL BE MINIMUM 2" INCHES HIGH.
5. ALL PLANT MATERIALS SHALL BE IMMEDIATELY "HAND" WATERED AFTER PLANTING AND CONTINUALLY MONITORED AND SUPPLEMENTALLY "HAND" WATERED DURING THE CONSTRUCTION AND CONTRACT MAINTENANCE PHASES AS NEEDED.
6. SUBSTITUTION OF PLANT MATERIALS WILL NOT BE ACCEPTABLE UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIALS DELIVERED TO THE SITE MUST HAVE AT LEAST ONE OF EACH PLANT TYPE TAGGED WITH THE GENUS AND SPECIES CLEARLY MARKED. PLANTS OF THE SAME GENUS TYPE WITH DIFFERENT COLOR OR SPECIES VARIATION MUST HAVE ALL OF EACH DIFFERENT SPECIES CLEARLY TAGGED.
8. ALL PLANT HOLES SHALL BE DUG TO A MINIMUM OF TWO (2) TIMES THE PLANT CONTAINER WIDTH (WIDTH ONLY, NOT DEPTH) AND ALL VERTICAL SIDES IN THE HOLES SHALL BE SHOVEL SCORED. IN NO CASE SHALL SMOOTHLY EXCAVATED SIDES BE ALLOWED FOR PLANTING.
9. IF CONSISTENT, UNFRACTURED ROCK OR HARDPAN IS ENCOUNTERED DURING EXCAVATION, NOTIFY LANDSCAPE ARCHITECT PRIOR TO PLANTING PLANT MATERIAL.
10. PREPARE ALL PLANTING AREAS WITH 3 CUBIC YARDS/1000 SF. OF NITROGENIZED ORGANIC SOIL CONDITIONER. PROVIDE 100 LBS/1000 SF. OF GRO-POWER 5-3-1 FERTILIZER. ROTOTILL EVENLY TO A DEPTH OF 6" INTO EXISTING SOIL.
11. PROVIDE SOILS FERTILITY TEST, AS PER SPECIFICATIONS TO LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH WORK. PREPARE ALL PLANTING AREAS WITH THE MINIMUM OF SOIL CONDITIONER AND FERTILIZER AS STATED IN NOTE #10 ABOVE, OR AS PER RECOMMENDATIONS OF SOILS FERTILITY TEST: WHICHEVER IS GREATER. ROTOTILL EVENLY TO A DEPTH OF 6" INTO EXISTING SOIL.
12. IF ANY PORTION OF THE SITE IS LIME TREATED, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING. DO NOT PROCEED WITH ANY WORK IN LIME TREATED SOIL. TYPICALLY, LIME TREATED SOILS ABOVE 1%, RESULT IN PH VALUES, AND COMPACTION THAT ARE DELETERIOUS TO PLANT MATERIAL, EVEN WITH AGGRESSIVE AMENDMENTS AND CONDITIONERS. THESE LIME TREATED SOILS MUST BE REMOVED AND REPLACED WITH IMPORT SOILS OF SUITABLE CHEMISTRY AND COMPATIBLE TEXTURE. THE LANDSCAPE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK IN LIME TREATED AREAS UNTIL A RESOLUTION IS PROVIDED IN WRITING.
13. ALL LANDSCAPE BERMS ARE TO BE GRADED 6" HIGHER THAN THE HIGHEST CONTOUR SHOWN ON PLANS, TYPICAL.
14. ALL LANDSCAPE AREAS WITH A SLOPE OF 2:1 OR GREATER MUST HAVE JUTE NETTING INSTALLED FOR EROSION CONTROL.



▲	1/2" x 3/8" TREE SPECIES	SE	
▲	1/2" x 3/8" TREE SPECIES	SE	
▲	1/2" x 3/8" CITY FC	SE	
▲			
▲			
▲			
REV	DATE	DESCRIPTION	BY

WHITNEY OAKS

CITY OF ROCKLIN, PLACER COUNTY CALIFORNIA

LANDSCAPE IMPROVEMENTS
SPRINGFIELD @ WHITNEY OAKS
UNIT 28A LOTS 650-661

PLANTING DETAILS



DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 12/10/01
PROJECT: [Signature]
SCALE: 1" = 20' 0"

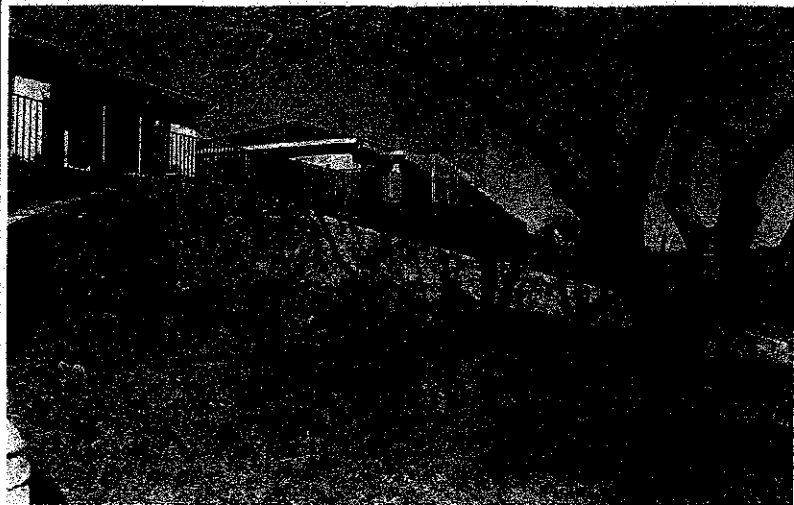


LAND ARCHITECTURE
Kelly - Fabreca, Inc.
720 Santa Arana, Suite 200
Rocklin, California 95671
916 754-2881 FAX 916 754-2882

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PHOTOS OF
PRIOR APPROVALS

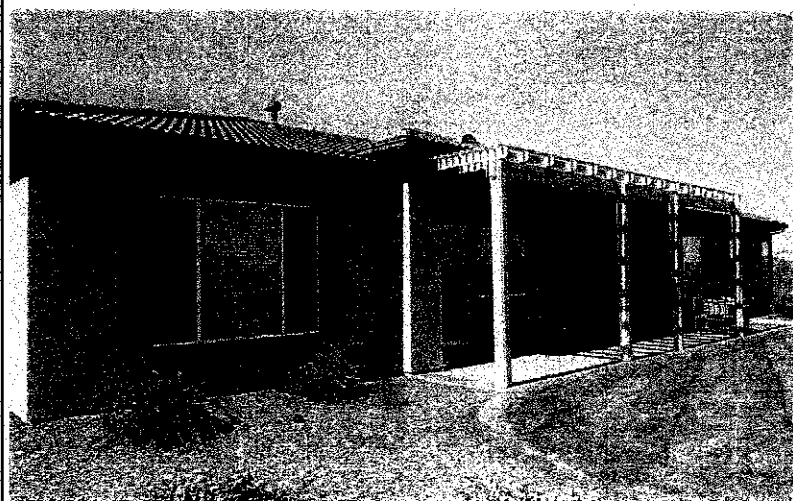




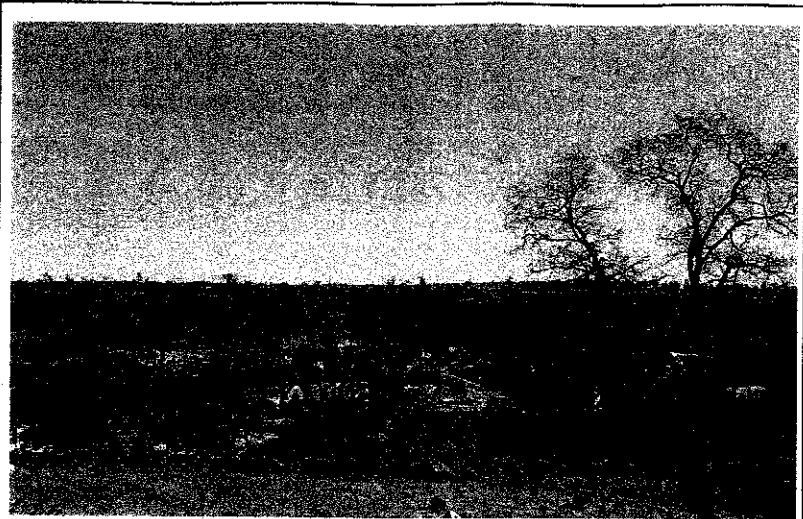
*Existing homes on lots 647 and 648
approved by prior design review.*



Existing home on lot 648.



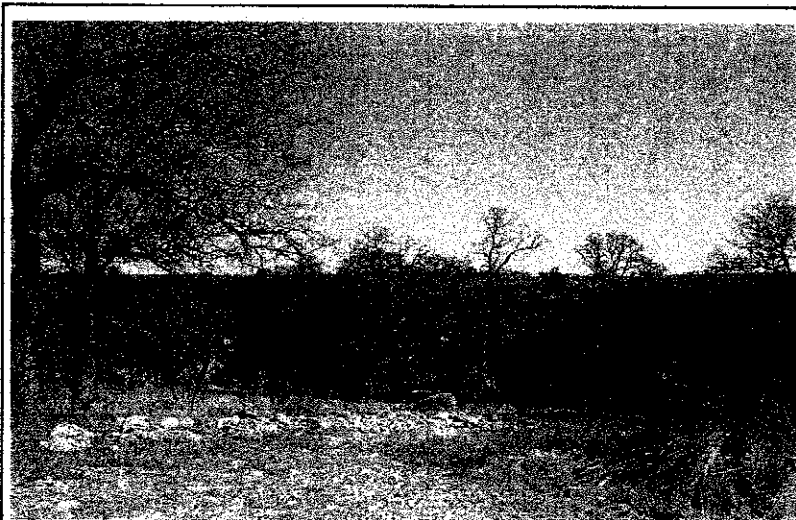
*Existing home on lot 780
approved by prior design review.*



*View from locale of future home sites
on lots 773 and 774.*



*View from locale of future home site
on lot 777.*



*View from locale of future home sites
on lots 778 and 779*

Existing Plan 19 at 4191 Tahoe Vista Drive (Lot 649)



View from Below Slope



Rear View



Front View

Existing Plan 20 at 4193 Tahoe Vista Drive (Lot 648)



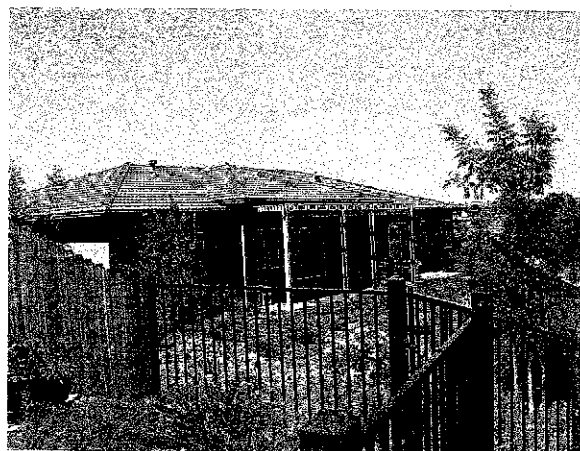
View from Below Slope



Rear View



Front View



**Typical Rear View of 19 Plan
4173 Tahoe Vista Drive**

**All Indicated Lots Approved
by Prior Design Review**

Springfield Color Boards

