

RESOLUTION NO. 2015-143

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING
A TENTATIVE SUBDIVISION MAP AND OAK TREE PRESERVATION PLAN PERMIT

(Sunset Hills Townhomes / SD-2013-03 and TRE-2013-13)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. Tentative Subdivision Map and Oak Tree Preservation Plan Permit (SD-2013-03 and TRE-2013-13) allow the subdivision of the approximately 11.2 gross acre site into 26 residential building lots and 2 lettered lots and removal of up to 51 oak trees.

B. A Mitigated Negative Declaration for this project has been recommended for approval via Planning Commission Resolution No. 2015-142.

C. The City Council has considered the effect of the approval of this subdivision on the housing needs of the region, and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the proposed General Development Plan and Rezone for the property (PDG-3013-03 and Z-2013-04) being processed concurrently.

E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the objectives, policies and programs in the City of Rocklin's General Plan.

F. The site is physically suitable for the proposed type and density of development.

G. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage, nor will they substantially and avoidably injure fish or wildlife or their habitat.

H. The design of the subdivision and type of improvements will not cause serious public health problems.

I. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

J. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

Section 2. The Sunset Hills Townhomes Tentative Subdivision Map and Oak Tree Preservation Plan Permit (SD-2013-03 and TRE-2013-13) as depicted in Exhibits A and B attached hereto and by this reference incorporated herein, and as depicted in Exhibit B of the concurrent Design Review (DR-2013-04) and by this reference incorporated herein, are hereby approved by the City Council, subject to the conditions listed below. The approved Exhibits A, B, and Exhibit B of DR-2013-04 shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibits A, B, and Exhibit B of DR-2013-04 shall be controlling and shall modify Exhibits A, B, and Exhibit B of DR-2013-04. All other plans, specifications, details, and information contained within Exhibits A, B, and Exhibit B of DR-2013-04 shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition, and each of these conditions must be satisfied prior to or concurrently with the submittal of the final map with the City Engineer for the purpose of filing with the City Council. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

a. Water – Water service shall be provided to the subdivision from Placer County Water Agency (PCWA) in compliance with all applicable PCWA standards and requirements. PCWA shall verify ability to serve the subdivision by signing off on the subdivision improvement plans. All necessary easements shall be shown and offered (or Irrevocable Offer of Dedication provided) on or with the final map. All necessary improvements shall be included on the subdivision improvement plans. (PCWA, ENGINEERING)

b. Sewer – Sewer service shall be provided to the subdivision from South Placer Municipal Utility District (SPMUD) in compliance with all applicable SPMUD standards and requirements. SPMUD shall verify ability to serve the subdivision by signing off on the subdivision improvement plans. All necessary easements shall be shown and offered (or Irrevocable Offer of Dedication provided) on or with the final map. All improvements shall be included on the subdivision improvement plans. (SPMUD, ENGINEERING)

Copies of any required permits from federal, state, and local agencies having jurisdiction over wetland/riparian areas, which may be impacted by the placement of the sewer system within the plan area, shall be submitted to SPMUD prior to approval of the sewer plan for the project. (ENGINEERING)

c. Telephone, Gas, and Electricity – Telephone, gas and electrical service shall be provided to the subdivision from AT&T and Pacific Gas & Electric (AT&T, PG&E, ENGINEERING)

d. Postal Service – Mailbox locations shall be determined by the local postmaster. A letter from the local postmaster verifying all requirements have been met shall be filed with the City Engineer. (ENGINEERING)

e. Prior to recordation of final map, the project shall be included in the appropriate City financing districts as needed to most efficiently provide for public maintenance of public landscaping, open space, improvements such as sound walls, and provision of new or enhanced services such as street lighting, to the satisfaction of the City Finance Manager. (FINANCE, ENGINEERING, PUBLIC SERVICES)

2. Schools

The following condition shall be satisfied to mitigate the impact of the proposed development on school facilities: (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING)

- a. At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995, to the satisfaction of the Rocklin Unified School District.
- b. The above condition shall be waived by the City Council if the applicant and the District reach agreement to mitigate the impacts on the school facilities caused by the proposed development and jointly request in writing that the condition be waived.

3. Fire Service

Improvement plans shall show the location and size of fire hydrants and water mains in conformance with the standards and requirements of the Rocklin Fire Chief and PCWA. (PCWA, ENGINEERING, FIRE)

4. Improvements/Improvement Plans

Prior to any grading, site improvements, or other construction activities associated with this project improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer. The project improvement plans shall include the following: (ENGINEERING, PUBLIC SERVICES, PLANNING)

- a. Improvement plans shall be valid for a period of two years from date of approval by the City Engineer. If substantial work has not been commenced within that time, or if the work is not diligently pursued to completion thereafter, the City Engineer may require the improvement plans to be resubmitted and/or modified to reflect changes in the standard specifications or other circumstances. (ENGINEERING)
- b. All improvements shall be constructed and/or installed prior to submitting the final map with the City Engineer for the purpose of filing with the City Council, unless the subdivider executes the City's standard form subdivision improvement agreement and provides the financial security and insurance coverage required by the agreement, prior to or

concurrent with submitting the final map with the City Engineer.
(ENGINEERING)

- c. A detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibits, shall be included in the improvement plans for the project. The grading and drainage plan shall include the following: (ENGINEERING, PLANNING)
 - i. Provisions for detaining run off at pre-development levels, to the satisfaction of the City Engineer and Public Services Director, including the location and specifications of the on-site detention basins. The following shall be provided:
 - 1) Prior to or concurrently with the approval of the final map, an appropriate restriction shall be recorded over the detention basin to assure its availability and use for this purpose and use in perpetuity.
 - 2) Prior to or concurrently with the approval of the improvement plans, a detention basin maintenance plan shall be developed by the subdivider and submitted to and approved by the City Engineer. The plan shall not provide for public ownership of any portion of the detention basin.
 - ii. Site drainage including features such as lined drainage swales.
 - iii. All storm drainage run-off from site shall be collected into a City standard sand and oil trap manhole (or an equal as approved by the City Engineer) prior to discharge of storm run-off offsite.
 - iv. All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of waste is prohibited and identifying that the inlets drain into the creek system.
 - v. Subdivider shall prepare a storm water pollutant protection plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
 - vi. Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical

engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified.

- vii. Construction related and permanent Best Management Practices (BMPs) and Best Available Technologies (BATs) shall be incorporated into the final project design and / or noted on the Improvement Plans as appropriate to reduce urban pollutants in runoff, consistent with goals and standards established under Federal and State non-point source discharge regulations (NPDES permit) and Basin Plan water quality objectives. Stormwater runoff BMPs selected from the Storm Water Quality Task Force, the Bay Area Storm Water Management Agencies Association Start at the Source – Design Guide Manual, the Sacramento Stormwater Quality Partnership’s Stormwater Quality Design Manual for the Sacramento and South Placer Regions, the City’s Post- Construction Manual (if published at the time of improvement plan preparation), or equally effective measures shall be identified prior to final design approval and shall be incorporated into project design and / or noted on the Improvement Plans as appropriate.

To maximize effectiveness, the selected BMPs shall be based on finalized site-specific hydrologic conditions, with consideration for the types and locations of development.

Provisions for the maintenance and periodic inspection of permanent facilities shall be addressed to the satisfaction of the City Engineer and the Public Services Director and shown on the improvement plans. These provisions shall include periodic inspection, cleaning, and the replacement of filter materials, as necessary, to retain the integrity of the BMP/BAT. (ENGINEERING, PUBLIC SERVICES)

- viii. Prior to any grading or construction activities, the subdivider shall:

- 1) Obtain a General Construction Activity Storm Water Permit as a part of the National Pollutant Discharge Elimination System (NPDES) permit process from the Regional Water Quality Control Board.
 - 2) Submit verification from the U.S. Army Corp of Engineers and the California Department of Fish and Game that the project meets all regulations and that the subdivider has obtained all required permits relating to wetlands and waterways.
- ix. Prior to any grading or construction activities, the subdivider shall comply with the following and include on the improvement plans as notes:
- 1) *Nesting Raptors and Migratory Birds*
 - a. The applicant/developer shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February - August).
 - b. If vegetation removal and/or project grading or construction activities occur during the nesting season for raptors and migratory birds (February-August), the applicant/developer shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 30 days prior to initiation of development activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of grading or construction activities, documentation of the survey shall be provided to the City of Rocklin Public Services Department. If the survey results are negative, no further mitigation is required and necessary tree removal may proceed.
 - c. If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the

size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.

If construction activities are scheduled to occur during the non-breeding season (September-January), a survey is not required and no further studies are necessary. (IV.-2)

d. The following subdivision improvements shall be designed, constructed, and/or installed:

i. All on-site standard subdivision improvements, including driveways, curbs, gutters, sidewalks, drainage improvements, utility improvements (including cable television trenching), street lights, and fire hydrants. All Emergency Vehicle Accesses (EVAs) shall be shown, or approved equivalent, to the satisfaction of the Fire Chief and the Director of Public Services, including collapsible bollards and turf stone pavers at Chalmette Court and matching gates to the perimeter fence with opticom and Knoxbox access on Sunset Boulevard. (ENGINEERING, PUBLIC SERVICES, PLANNING, FIRE)

ii. Developer shall dedicate to City a telecommunication easement, and shall install and dedicate to City telecommunication conduit within the easement. The easement shall be located in the public utility easement of each street within the subdivision, and any adjacent streets as necessary to connect the easement to the City's public street and easement network. The easement shall be for telecommunications use by City, in whatever manner the City may, in its sole discretion, elects. The conduit shall be large enough for at least two (2) sets of coaxial cable (approximately three (3) inches total diameter), shall include access to the cable spaced at reasonable distances, and shall otherwise comply with City standards and specifications in effect at the time the conduit is installed.

Developer shall provide any City telecommunication franchisee, including any cable television franchisee, access to the easement for the purpose of installing cable and conduit while the public utility trench is open and prior to the street being paved.

iii. The following on-site special improvements:

Streetlights

- 1) Decorative residential street lights as shown in Exhibit A shall be installed on all streets within the subdivision. Lighting installation and wiring shall comply with all applicable City standards.

All exterior lighting shall be designed and installed to avoid adverse glare on adjacent properties. Cut-off decorative lighting fixtures, or equivalent, shall be used and mounted such that all light is projected directly toward the ground. Light poles shall be a maximum of 20 feet in height as measured from grade to the top of the light. The lighting design plan shall be approved by Economic and Community Development Director for compliance with this condition.

Walls and Fences

- 2) A six (6) foot tall masonry sound wall shall be constructed along the property line shared with the commercially zoned property to the northeast to create a noise barrier. The barrier height is relative to the final building pad elevations. Said wall shall be decorative masonry (split face on both sides, with decorative cap, and decorative stone pilasters with cap). The stone veneer on the pilasters shall match the ledge stone of the monument sign, or be an approved equivalent. Pilaster spacing shall be at intervals no greater than 60 feet on center, shall be located at wall ends, corners, and at changes of height and direction. Pilasters shall be at least 36 inches wide and fully covered with the decorative stone veneer, to the satisfaction of the Public Services Director.
- 4) A tubular steel fence with decorative stone-veneer pilasters to match the sound wall shall be constructed along the property line fronting on Sunset Boulevard. A gate shall be included to provide homeowners association maintenance and emergency response access to Lot A, to the satisfaction of the Public Services Director and the Fire Chief.

The tubular steel fence shall be in substantial compliance with Exhibit A, have flat top pickets (or have a smooth rail at the top), be powder-coated a dark color, and be constructed of medium gauge, or better, steel or aluminum, to the satisfaction of the Economic and Community Development Director.

- 5) A “lock and load”, or approved equivalent, concrete retaining wall to match that on the Atlantis/Sunset Hills project shall be constructed to retain the slope along the boundary of Open Area Lot A, as shown in Exhibit A.
- 6) Segmental block retaining walls in substantial compliance with the types and locations shown in Exhibit A.
- 7) Rockery walls in substantial compliance with the type and locations shown in Exhibit A.

Enhanced paving at entrances

- 8) Enhanced paving at all four driveways, to the satisfaction of the Director of Public Services and Economic and Community Development Director.

iv. The following off-site improvements:

- 1) Frontage improvements along Sunset Boulevard, including curb, gutter, and sidewalk, to the satisfaction of the City Engineer and the Public Services Director.
- 2) The median modifications on South Whitney Boulevard as shown in Exhibit A and to the satisfaction of the City Engineer and the Public Services Director.
- 3) The applicant/developer shall coordinate road improvement work on South Whitney Boulevard with the City’s re-paving project to the extent feasible and subject to the satisfaction of the City Engineer and the Public Services Director.

- e. Landscape and irrigation plans within the public rights-of-way along Sunset Boulevard and South Whitney Boulevard shall be included with

the project improvement plans and shall comply with the following:
(ENGINEERING, PUBLIC SERVICES, PLANNING)

- i. Landscaping and an automatic irrigation system shall be installed in the following areas and as shown in Exhibit A:
 - 1) Street landscaping within the public right-of-way on Sunset Boulevard.
 - 2) Street landscaping within the public right-of-way on South Whitney Boulevard.
- ii. An irrigation system stub shall be provided in Lot B to permit the connection and operation of a temporary irrigation system in Lot A, to the satisfaction of the Economic and Community Development Director and the Public Services Director.
- iii. Use of granite or moss rock boulders, unfinished granite slabs, or an approved equal accent feature, along the planting areas, to the satisfaction of the Economic and Community Development Director and the Public Services Director.
- iv. The landscaping plan shall be prepared by a landscape architect and shall include:
 - 1) A legend of the common and botanical names of specific plant materials to be used. The legend should indicate the size of plant materials. Shrubs shall be a minimum 5 gallon and trees a minimum of 15 gallon and meet the minimum height specified by the American Standards for Nursery Stock. The legend shall provide the numbers of plants and the groundcover spacing to achieve compliance with the landscape plan in Exhibit B of the Design Review. Plant quantities shall be adjusted at the determination of the Public Works Director to achieve compliance with the approved Design Review Exhibit B and this condition. Plant varieties shall be provided in the largest nursery container locally available regardless of which category and of what size they are shown in the Plant Schedule (e.g. shrubs such as Agapanthus shall be provided in five gallon containers even though they are scheduled as perennials and one gallon containers).

Another tree species shall be substituted for Italian Cypress where specified, subject to the approval of the Public Services Director.

- 2) A section diagram of proposed tree staking.
 - 3) An irrigation plan including an automatic irrigation system. All street landscaping, whether publicly or privately owned, shall be irrigated by a permanent drip system or low water consumption system acceptable to the City of Rocklin.
 - 4) Certification by the landscape architect that the landscape plans meets the requirements of the Water Conservation and Landscaping Act. Government Code §65591, et seq.
 - 5) Certification by the landscape architect that the soil within the landscape area is suitable for the proposed landscaping and / or specify required soil treatments and amendments needed to ensure the health and vigor of landscape planting.
- v. All landscaping improvements shall be constructed and/or installed prior to submitting the final map for filing with the City Council, unless the subdivider executes the City's standard form subdivision landscaping agreement and provides the financial security and insurance coverage required by the subdivision landscaping agreement, prior to or concurrent with submitting the final map.
- vi. The landscaping and irrigation systems within the public rights-of-way on Sunset Boulevard and Chalmette Court shall be maintained by the developer/homeowners association. The developer/homeowners association shall apply for and obtain an encroachment permit to do any maintenance in the public right-of-way.
- f. All rights-of-way and easements, if any, associated with the subdivision improvements shall be offered on, or by separate instrument concurrently with, the final subdivision map; provided, that street rights-of-way shall be offered by means of an irrevocable offer of dedication (IOD). (ENGINEERING)

- g. Prior to any grading or construction activities including issuance of improvement plans, the developer shall submit a design-level soil investigation for the review and approval of the City Engineer and Chief Building Official that evaluates soil and rock conditions, particularly the potential for expansive soils. The professional engineer that prepared the soil investigation shall recommend appropriate roadway construction and foundation techniques and other best practices that are to be implemented by the project during construction. These techniques and practices shall address expansive soils or other geological concerns requiring remediation, including but not limited to:
- Recommendations for building pad and footing construction;
 - Use of soil stabilizers or other additives; and
 - Recommendations for surface drainage.
- h. Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following items, which shall be included in the project notes on the improvement plans: (ENGINEERING)
- i. The prime contractor shall submit to the District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the inventory, the prime contractor shall contact the District prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the District with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.
 - ii. During construction the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
 - iii. During construction, the contractor shall minimize idling time to a maximum of 5 minutes for all diesel powered equipment.
 - iv. Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.

- v. All grading operations shall be suspended when fugitive dust emissions exceed District Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is CARB-certified to perform Visible Emissions Evaluations (VEE). This individual shall evaluate compliance with Rule 228 on a weekly basis.
- vi. Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed District Rule 228-Fugitive Dust limitations.
- vii. The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the individual jurisdiction) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
- viii. The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
- ix. The contractor shall apply water or use other method to control dust impacts offsite. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- x. All construction equipment shall be maintained in clean condition.
- xi. Chemical soil stabilizers, vegetative mats, or other appropriate best management practices, in accordance with manufacturers’ specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
- xii. All exposed surfaces shall be revegetated as quickly as feasible.
- xiii. If fill dirt is brought to the construction site or dirt is exported from the site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
- xiv. Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall

be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.

- xv. Processes that discharge 2 pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the PCAPCD prior to construction or use of equipment and obtain any necessary permits.
 - xvi. In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).
 - xvii. Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by APCD to cease operations and the equipment must be repaired within 72 hours.
 - xviii. Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
 - xix. Any diesel powered equipment used during project construction shall be Air Resources Board (ARB) certified.
- i. The applicant shall comply with the following which shall be Included as project notes on the improvement plans:
- i. If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the City's Environmental Services Manager, and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs,

logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.

In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006). (V.-1)

- ii. If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature (or features), the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in addressing and/or remediation of the feature. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature and to determine appropriate remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals as needed shall be

completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, prior to completion of grading/construction in the affected area.

- iii. If blasting activities are to occur in conjunction with site development, the contractor shall conduct the blasting activities in compliance with State and local regulations. The contractor shall obtain a blasting permit from the City of Rocklin prior to commencing any blasting activities. Information submitted to obtain a blasting permit shall include a description of the work to be accomplished and a statement of necessity for blasting as opposed to other methods considered, including avoidance of hard rock areas, safety measures to be implemented, such as blast blankets, and traffic groundshaking impacts. The contractor shall coordinate any blasting activities with police and fire departments to ensure proper site access control, traffic control, and public notification including the media and affected residents and businesses, as appropriate. Blasting specifications and plans shall include a schedule that outlines the time frame that blasting will occur to limit noise and traffic inconveniences.

- iv. Prior to any on- or off-site grading or construction activities, including issuance of improvement plans for any phase of the project, the subdivider shall provide verification to the City Engineer that a qualified storm water management professional has been retained and is available to monitor construction activities and provide written reports to the City. This notification shall include name(s) and 24 hour contact information. The storm water management professional shall be present on site at all times necessary when work is occurring during the grading, trenching, and building construction phases (if homes to be built by subdivider) of the project in order to observe, assess, and direct on site storm water management. The storm water management professional shall also monitor the work site on a regular basis even when no construction activities are occurring to ensure that installed water quality and Best Management Practice devices or improvements are installed and functioning properly. The storm water management professional shall monitor the site prior to, during, and after any storm events. (ENGINEERING)

5. Landscaping Maintenance Agreement

Prior to approval of a final map the subdivider shall enter into an agreement with the City of Rocklin providing for the maintenance of all landscaping and irrigation within the public rights-of-way along Sunset Boulevard and South Whitney Boulevard. The agreement shall stipulate that the subdivider shall maintain all plant materials and the irrigation system. The agreement shall also indemnify the City against claims arising from developer's activities and shall be recorded and binding on successors in interest of the developer.

6. Improvements in the Public Right-of-Way

The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. Applicant shall post a performance bond and labor and materials payment bond (or other equivalent financial security) in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way as improvement security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the State or Federal government and pledging that the funds necessary to carry out this Agreement are on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City. (PUBLIC SERVICES)

7. Signage^[BF1]

- a. All signs shall conform to the Sign Ordinance of the City of Rocklin and the sign design(s) and location(s) as shown on Exhibit B. (PLANNING)
- b. Project signage shall be substantially similar to Exhibit B, to the satisfaction of the Economic and Community Development Director. (PLANNING)
- c. If the project signs are to be illuminated, ground mounted lighting shall comply with the following, to the satisfaction of the Economic and Community Development Director: (PLANNING)
 - 1) The light source shall be designed and oriented so that it shines only on the sign itself and not into the sky or elsewhere, and

- 2) The light source itself shall be screened, with a permanent physical barrier, such that it is not visible from the adjacent streets or driveways.

8. Oak Tree Protection, Removal, and Mitigation

To ensure compliance with the City's Oak Tree Preservation Ordinance and to compensate for the removal of the oak trees on the project site, prior to the issuance of improvement plans or grading permit, the applicant shall: (PLANNING, PUBLIC SERVICES)

- a. Clearly indicate on the construction documents that on- and off-site oak trees not scheduled for removal will be protected from construction activities in compliance with the pertinent sections of the City of Rocklin Oak Tree Preservation Ordinance.
- b. Mitigate for the removal of oak trees on the project site consistent with the requirements of the City's Oak Tree Preservation Ordinance. The applicant may elect to provide on-site mitigation in the form of planting replacement trees in appropriate areas of Lot A, provide off-site tree replacement, dedicate land, or contribute to the Rocklin Oak Tree Preservation Fund, consistent with the requirements of the City's Oak Tree Ordinance and the satisfaction of the Public Services Director.
- c. Should the applicant elect to contribute to the Rocklin Oak Tree Preservation Fund, the following methodology shall be utilized:

The project arborist shall prepare a final list of all oak trees to be removed to accommodate development of the project. The list shall include the total number of surveyed oak trees, the total number of oak trees to be removed, the total number of oak trees to be removed that are to be removed because they are sick or dying, and the total of the trunk diameters at breast height (TDBH) of all surveyed oak trees on the site in each of these categories. With this information the required mitigation fee shall be calculated using the formula provided in the Oak Tree Preservation Ordinance.

- d. Prior to any grading or construction activity, the applicant / developer shall prepare, subject to approval by the City's Economic and Community Development Director, an oak tree mitigation plan which incorporates the steps noted above, including payment of necessary fees into the City's Oak Tree Mitigation Fund. (IV.-4)

9. Air Quality

Either:

- a. Prior to the recording of the final map, the project applicant shall pay their air quality fair-share Off-site Mitigation Fee sufficient to reduce the project's NOx operational emissions to 10 pounds per day (estimated to be approximately \$310.82). The applicant shall provide the City with a receipt from the PCAPCD to demonstrate proof of payment;

OR

- b. Prior to the recording of the final map, the applicant shall develop and propose an off-site mitigation project (equivalent to the emission reductions required for the proposed project to meet PCAPCD thresholds of significance), subject to review and approval by the City of Rocklin Environmental Services Division and the PCAPCD. The applicant shall provide proof that the off-site mitigation project would reduce emission at an equivalent amount as would be required of the proposed project.
(III.-2) (ENGINEERING)

10. Common Areas - Open Space - Maintenance

Prior to or concurrently with the recordation of the final map the subdivider shall provide for the ownership and maintenance of those portions of the project to be commonly owned and / or maintained by the residents of the subdivision as specified herein through formation of a homeowner's association. The documents creating the homeowner's association shall meet the following requirements and minimum provisions: (ENGINEERING, CITY ATTORNEY)

- a. Define the following portions of the subdivision to be common areas jointly owned and / or maintained by the residents of the subdivision: Lot A and Lot B as shown in Exhibit A.
- b. Assignment to the homeowner's association responsibility for the maintenance of common areas and commonly maintained areas on and within Lot A, Lot B, and Lots 1 through 26, including but not limited to, all structures, landscaping, private utility services, outdoor lighting, private streets and alleys, parking, recreational facilities, detention and drainage facilities, all landscaping in the public rights-of-way, as required herein, and oak mitigation plantings.
- c. Assignment to the homeowner's association responsibility to monitor and report to the Economic and Community Development Director of the City

of Rocklin on activities and violations of any of these conditions, easement restriction, or any other ordinance, rule or regulation of the City occurring within the common area.

- d. A statement that the City may, at its option, cause the maintenance responsibilities set forth in the documents creating the homeowners association to be performed and assess (lien) the cost to the homeowner's association in the event the project is not maintained in accordance with the approved plans. (RMC §17.60.040)
- e. A statement expressly prohibiting modification or deletion of any portion of the homeowner's association documents which specifically address City conditions of approval, City requirements, or termination of the HOA in its entirety, without the express written consent of the City.
- f. The documents creating the homeowner's association shall specifically include the following condition for enforcement by the homeowner's association:
 - i) A "parking enforcement plan" (Exhibit B) that includes guarantees, to the satisfaction of the Economic and Community Development Director that the garages shall be used for the parking of automobiles, and ensures that roll-up garage doors, with automatic garage door openers are used throughout the project, consistent with RMC 17.66.020.
- g. City review shall be required for any development, including fencing and landscaping, within the common area. Notice of this requirement shall be recorded by separate instrument with the final map.
- h. A notice shall be included in the subdivision's CC&R, and recorded by separate instrument with the final map, stating that individual lot and building design shall be subject to City approved design guidelines available from the City of Rocklin Department of Economic and Community Development.
- i. In lieu of a property owners association, as required above in Section 10(b), Subdivider may utilize a conservancy, or other suitable legal entity, to own, maintain, and carry out all duties identified in this Section 3 as relate to the lot designated "Open Space" on Exhibit A. This alternative ownership entity shall have characteristics of responsibility, accountability, and longevity, which are substantially similar to a property owners' association, so that the City is confident of the entity's ability to operate, manage and maintain the open space in perpetuity. Any

alternative ownership entity shall be formed so that the maintenance, monitoring, and lien rights required in Section 15(b) are legal obligations of the ownership entity. The alternative ownership entity shall be reviewed and approved by the City Attorney and the Economic and Community Development Director for compliance with these conditions of approval.

11. Phasing

Multiple final maps may be filed subject to the following criteria:
(ENGINEERING, PLANNING)

- a. A phasing plan showing the sequence of site improvements shall be submitted for review and approval.
- b. One or more phases may be required to comply partially or wholly with any of the conditions placed upon the tentative map to ensure each phase shall function independently, including but not limited to the construction of common area facilities and improvements with one or more phases.

12. Monitoring

Prior to recording of the first final map or any grading on the property, the subdivider shall deposit with the City of Rocklin the current fee to pay for the City's time and material cost to administer the Mitigation Monitoring Program. The Economic and Community Development Director shall determine if and when additional deposits must be paid for administering the Mitigation Monitoring Program, including additional deposits on subsequent phase final maps. These amounts shall be paid prior to recording subsequent final maps on this project. (PLANNING, ENGINEERING)

13. Indemnification and Duty to Defend

Within 30 days of approval of the tentative subdivision map or tentative parcel map by the City, the subdivider shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the subdivision or parcel map by the City's planning commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the subdivider of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no

further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

14. Validity

- a. This entitlement shall expire two years from the date of approval unless prior to that date a final map has been issued or a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent General Development Plan and Rezone (PDG-2013-03 and Z-2013-04) and Design Review (DR-2013-04) have been approved. (PLANNING, ENGINEERING)

PASSED AND ADOPTED this 9th day of June, 2015, by the following roll call vote:

AYES:	Councilmembers:	Janda, Ruslin, Butler, Yuill, Magnuson
NOES:	Councilmembers:	None
ABSENT:	Councilmembers:	None
ABSTAIN:	Councilmembers:	None



George Magnuson, Mayor

ATTEST:



Barbara Ivanusich, City Clerk

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Sunset Hills Townhomes\Meeting Packets\CC 6-9-15\05 Sunset Hills CC Reso (SD-2013-03 TRE-2013-13) - final.doc

EXHIBIT A

SD-2013-03 and TRE-2013-13

Available at the Economic and Community Development Department, Planning Division

ENTITLEMENT APPLICATION

SUNSET HILLS TOWN HOMES, By USA Investment Associates Rocklin, California

EXHIBIT A
SD-2013-03

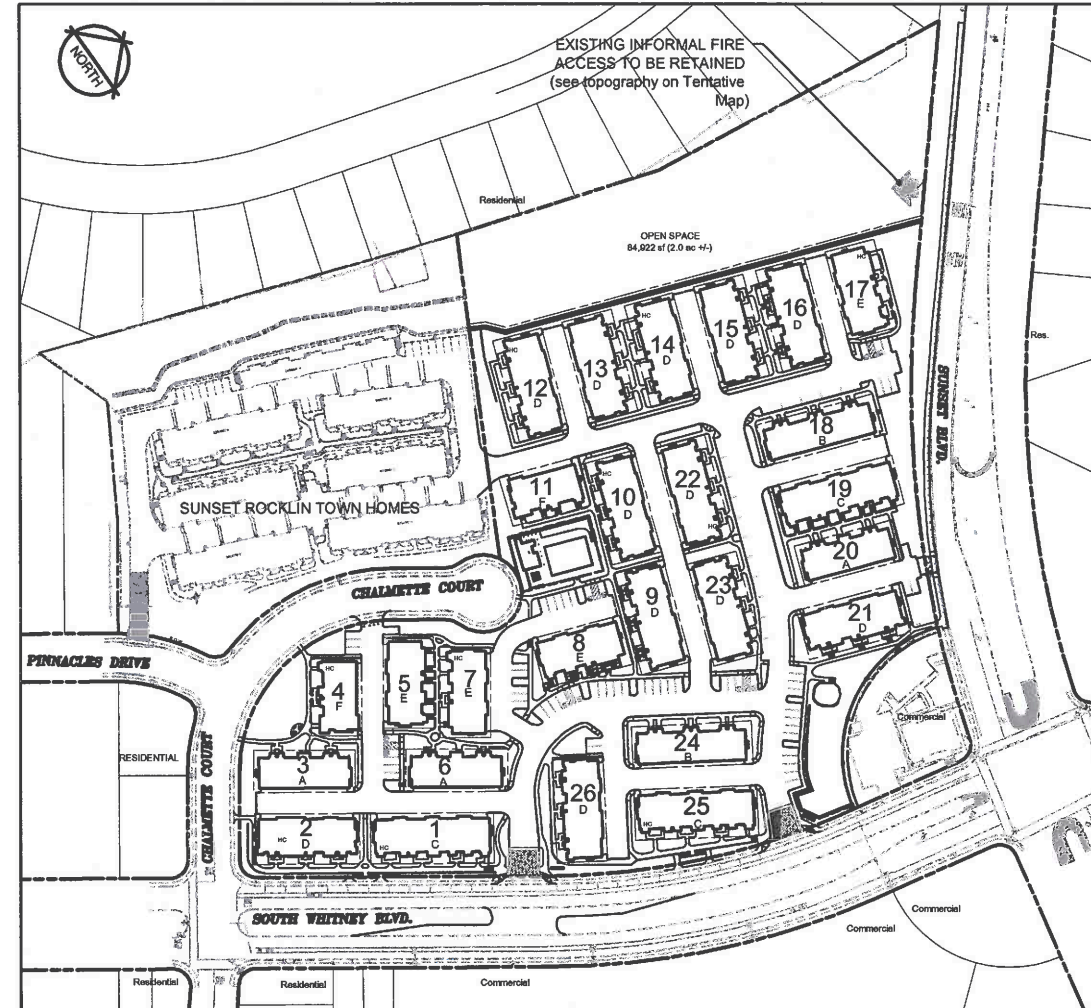
OWNER / APPLICANT
USA Investment Associates
c/o Gil Lee
606 North First Street
San Jose, CA 95112
408/666-8122

ASSESSOR PARCEL NUMBER
016-210-011 and 016-240-044

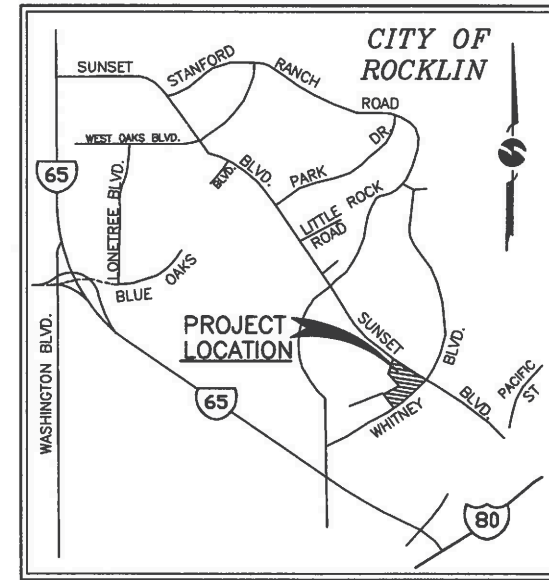
ENGINEER
Omni-Means, Ltd.
c/o Scott Robertson
943 Reserve Drive, Suite 100
Roseville, CA 95678
916/782-8688

ARCHITECT
GKW Architects
Gordon K. Wong
700E McGlincy Ln Ste 109
Campbell, CA 95008
408/315-2125
gordonkwong@gkwarchitects.com

LANDSCAPE ARCHITECT
Omni-Means, Ltd.
c/o Scott Robertson
943 Reserve Drive, Suite 100
Roseville, CA 95678
916/782-8688



Project Summary:	
Total Units:	148 Units (18 ADA UNITS)
Total Site Area:	11.2 Gross Acres (±)
Gross Density:	13.2 DU/AC
Developed Area:	9.25 Acres (±)
Net Density:	16.0 DU / Acre
Land Use Summary:	
Existing General Plan:	HDR/ R-C
Existing Zoning:	C-2
Proposed Zoning:	PD-R Planned Development Min 15.5 units per acre & OA



VICINITY MAP
NO SCALE

PROJECT OBJECTIVE:
Approval to develop a 148-unit Town Home Condominium project.

APPLICATION INCLUDES:

1. Tentative Subdivision Map (for Condominiums)
2. Rezone and General Development Plan
3. Design Review and Oak Tree Preservation Plan Permit

SUBMITTAL DOCUMENTS INCLUDE:
Universal Application

General Development Plan (under separate cover)

Design Review Package (under separate cover)

- Architectural Elevations
- Architectural Floor Plans
- Architectural Materials and Color Selections
- Preliminary Landscape Plan (Overview)
- Preliminary Landscape Plan (Typical Detail)
- Preliminary Plant Schedule
- Preliminary Sign Design

VARIOUS STUDIES / REPORTS

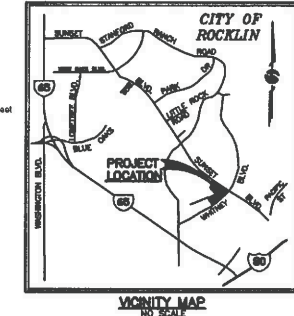
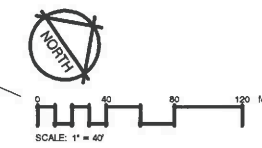
- Traffic Impact Study
- Noise Impact Study
- Air Quality Impact Analysis
- Preliminary Drainage Study
- Oak Tree Inventory Report

Tentative Map (under this cover)

1. Entitlement Package Cover Sheet
2. Tentative Subdivision Map Cover
3. Tentative Boundary Plat (Condos)
4. Preliminary Site Plan
5. Preliminary Grading Plan (30-scale)
6. Preliminary Grading Plan Enlargement Area
7. Preliminary Grading Plan Enlargement Area
8. Preliminary Grading Plan Enlargement Area
9. Preliminary Site Sections
10. Preliminary Wall Plan
11. Preliminary Wall Sections
12. Preliminary Utility Plan
13. Oak Tree Preservation Plan (30-scale)
14. Oak Tree Preservation Plan Enlargement Area
15. Oak Tree Preservation Plan Enlargement Area
16. Oak Tree Preservation Inventory Table
17. Fire Truck Access
18. Trash Collection



631UPS001.dwg September 5, 2014



Project Summary:

Total Residential Lots:	26 residential building lots containing a total 148 Air Space Condominium Units
Total Site Area:	11.20 Gross Acres (±)
Gross Density (by units):	13.2DU / Acres
Developed Area:	9.25 Acres (±)
Net Density (by units):	16.0 DU / Acre
Land Use Summary:	
Existing General Plan:	HDR/ R-C
Existing Zoning:	C-2
Proposed Zoning:	PD-22 Planned Development 22 units per acre and OA

RECORD OWNER / APPLICANT
 USA Investment Associates
 c/o Gil Lee
 606 North First Street San Jose, CA 95112
 408/666-8122

ASSESSOR PARCEL NUMBER 016-210-011 and 016-240-044

ENGINEER Omni-Means, Ltd.
 c/o Scott Robertson
 943 Reserve Drive Suite 100 Roseville, CA 95678
 916/782-8688

PREPARED BY:
 OMNI-MEANS

SEWER: S.P.M.U.D.

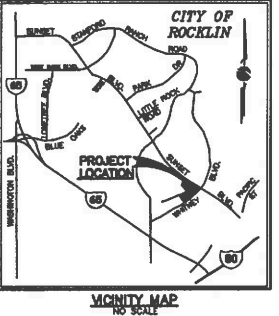
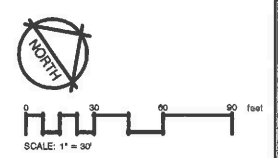
WATER: P.C.W.A.

TELEPHONE: SBC Telephone

GAS & ELECTRIC: P.G. & E.

GARBAGE DISPOSAL: Recology Auburn-Placer Disposal

The exhibit on this cover sheet is shown to illustrative the overall project area. See sheet 3 of 18 of this Tentative Map for detail information regarding lots, easments, etc.



LOT CALCULATIONS	LOT MAXIMUM, MINIMUM, AVERAGE
Lot A: 84,922 sf	MAXIMUM: Lot B: 94,122 sf
Lot B: 94,122 sf	MINIMUM: Lot 4: 5,430 sf
Lot 1: 8480 sf	AVERAGE: not applicable - final project is proposed to be traditional air space units (within each building lot) created by a Condominium Map.
Lot 2: 7232 sf	
Lot 3: 5854 sf	
Lot 4: 5430 sf	
Lot 5: 6252 sf	
Lot 6: 5854 sf	
Lot 7: 6264 sf	
Lot 8: 6264 sf	
Lot 9: 7232 sf	
Lot 10: 7232 sf	
Lot 11: 5550 sf	
Lot 12: 7232 sf	
Lot 13: 7232 sf	
Lot 14: 7223 sf	
Lot 15: 7232 sf	
Lot 16: 7232 sf	
Lot 17: 6264 sf	
Lot 18: 6899 sf	
Lot 19: 8481 sf	
Lot 20: 5736 sf	
Lot 21: 7227 sf	
Lot 22: 7232 sf	
Lot 23: 7232 sf	
Lot 24: 6889 sf	
Lot 25: 8481 sf	
Lot 26: 7232 sf	

- TENTATIVE PLAN NOTES**
1. Common ownership lot A is identified as an Open Area that will be zoned as such to preclude future development of this area.
 2. Common ownership lot B will provide reciprocal easements for landscape, parking, access, maintenance, and utility connections to all lots.
 3. Lots 1, 2, 3, 4, 5, 6, 7, 8, 11, 12, 13, 15, 16, 17, 18, 19, 20 and 21 are on existing slopes (either partially or a lot) greater than 25%. The overall site will be graded significantly in order to achieve minimum street, sidewalk and accessible standards. See the Preliminary Grading Plan for more information.
 4. Utilities are proposed via connections to existing services located in surrounding roadways. See the Preliminary Utility Plan for more information. Utility easements to be granted as requested by utility company.
 5. See the Oak Tree preservation plan and associated Arborist report for information regarding oak trees.
 6. See Site Plan exhibit for more detailed information.
 7. See General Development Plan Exhibit for information regarding proposed zoning.
 8. See Preliminary Wall Plan exhibit for more information.
 9. A 20-ft wide access and egress easement will be granted to the Sunset Rocklin project to provide access through Sunset Hills from both main entry options off of South Whitney Blvd.

Project Summary:		
Total Units:	148 Units (18 ADA UNITS)	
Total Site Area:	11.2 Gross Acres (±)	
Gross Density:	13.2 DU/AC	
Developed Area:	9.25 Acres (±)	
Net Density:	16.0 DU / Acre	
Land Use Summary:		
Existing General Plan:	HDR/ R-C	
Existing Zoning:	C-2	
Proposed Zoning:	PD-22 & OA 22 units/acre	
Unit Type Summary:		
Product A: 5 Plex Townhome	15 Units	
Product B: 6 Plex Townhome	12 Units	
Product C: 7 Plex Townhome	21 Units	
Product D: 8 Plex Townhome	72 Units	
Product E: 5 Plex Townhome	20 Units	
Product F: 4 Plex Townhome	8 Units	
Parking Summary:		
	REQUIRED	PROVIDED
PARKING REQUIREMENTS:		
Unit with Standard 2-Car Garage: (148 units)	296	296
- Garage Spaces (2 spaces)	74	81*
- On-site Visitor Spaces (0.5 spaces)		
Total	370	377
*Includes 10-HC spaces		

BUILDING FOOTPRINT COVERAGE AND LOT SIZE		
No.	Bldg. (sf)	Lot (sf)
1	5705	8480
2	4890	7232
3	4097	5854
4	3450	5430
5	4128	6252
6	4097	5854
7	4128	6264
8	4128	6364
9	4890	7232
10	4890	7232
11	3450	5556
12	4890	7232
13	4890	7232
14	4890	7232
15	4890	7232
16	4890	7232
17	4128	6264
18	4867	6899
19	5705	8481
20	4097	5736
21	4890	7227
22	4890	7232
23	4890	7232
24	4867	6889
25	5705	8481
26	4890	7232
121,232 SF		
FAR 24%		
(over 11.2 ac)		
Lot A	84,922	
Lot B	94,122	



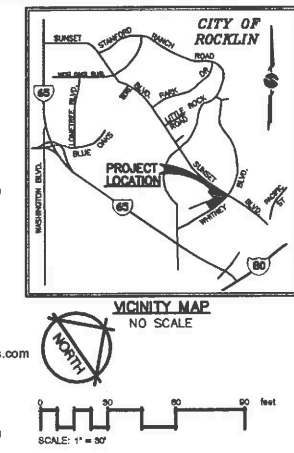
OWNER/APPLICANT
USA Investment Associates
c/o Gil Lee
806 North First Street
San Jose, CA 95112
408/866-8122

ENGINEER
Omni-Means, Ltd.
c/o Scott Robertson
943 Reserve Drive, Suite 100
Roseville, CA 95678
916/782-8688

ARCHITECT
GKW Architects
Gordon Wong
700E McGilroy Ln, 109
Campbell, CA 95008
408/315-2125
gordonwong@gkwarchitects.com

LANDSCAPE ARCHITECT
Omni-Means, Ltd.
c/o Scott Robertson
943 Reserve Drive, Suite 100
Roseville, CA 95678
916/782-8688

SEWER: S.P.M.U.D.
WATER: P.C.W.A.
TELEPHONE: SBC Telephone
GAS & ELECTRIC: P.G. & E.
GARBAGE DISPOSAL: Reology Auburn-Placer Disposal



ASSESSOR PARCEL NUMBERS
016-210-011 and 016-240-044

SITE PLAN NOTES

- Other Exhibits:** See also the Tentative Map for Condominium (under separate cover), and other exhibits in this set pertaining to specific details.
- Dwelling Units:** Individual dwelling units are a two and three-story type with a garage attached to each unit. Units are grouped in townhouse buildings as illustrated on the site plan. See architectural plans / elevations for more information.
- Phasing:** Phasing to be determined at time of preparation of Construction Documents.
- Lighting:** Site lighting design to be determined. However, site lighting will meet the City's night sky standard.
- HOA:** A Home Owners Association will be formulated to maintain the Sunset Hills project and it's associated landscape / amenities. Open Space and Common Area Landscape will be owned and maintained by the HOA.
- Garbage Collection:** Per Auburn-Placer Disposal input, garbage collection will be via individual cars and not a centralized trash enclosure area(s). See Exhibit 20 of this set for garbage pickup information.
- Oak Tree Preservation:** The oak trees along the north west slope of the project are intended to be left in-place unless the arborist report recommends specific mitigation due to health or structural conditions. See Oak Tree Preservation Plan for more information.
- Parking Size (typ):**
 - Perpendicular parking - 9' x 18'
 - Parallel parking - 9' x 24'
 - HC parking: Per code

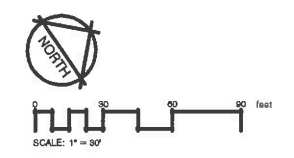
SITE PLAN LEGEND

- (A) PUBLIC ENTRY TO PROJECT
- (B) MEDIAN BREAK
- (C) RECIPROCAL / EMERGENCY / SECONDARY ACCESS
- (D) TOT - LOT REMOVED BY SUSNET ROCKLIN PROJECT IN MAY 2013
- (E) ACCESS & SLOPE EASEMENTS TO BE ABANDONED (PER AGREEMENTS WITH NEIGHBOR)
- (F) 24-FT. MINIMUM DRIVE AISLES OR ALLEY AISLES
- (G) PRESERVED OPEN SPACE AND OAK TREE MITIGATION AREA
- (H) DETENTION / WATER QUALITY BASIN
- (I) FENCE & PILASTER (SEE WALL PLAN EXHIBIT)
- (J) RETAINING WALL (SEE WALL PLAN EXHIBIT)
- (K) TOT-LOT
- (L) PROJECT PED. ACCESS FROM SUNSET BLVD.
- (M) PICNIC AREA
- (N) POOL AREA
- (O) SOUND WALL & PILASTER (SEE WALL PLAN EXHIBIT)
- (P) EMERGENCY & GARBAGE ACCESS / RETRACTABLE BOLLARDS OR GATE
- (Q) 60" HIGH METAL PICKET FENCE
- 5 RESIDENTIAL BUILDING / LOT NUMBER
- A BUILDING TYPE. SEE ARCHITECTURE PLANS
- ACCESSIBLE ROUTE

omni-means
 ENGINEERS PLANNERS ARCHITECTS
 SACRAMENTO REGION
 1000 W. WALNUT STREET, SUITE 200
 SACRAMENTO, CA 95811
 916.442.1111
 www.omni-means.com
 September 5, 2014

PRELIMINARY SITE PLAN
SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California

4 of 18



GRADING PLAN NOTES

- Other Exhibits:** See also the Tentative Map for Condominium, Preliminary Site Plan, Preliminary Landscape Plan, & Preliminary Utility Plan (water and sewer)
- Cut and Fill:** Approximately 48,000 cubic yards of soil will be removed from the site. Relocation site to be determined.
- Retaining Walls:** The preliminary location of retaining walls are illustrated on this exhibit. Depending upon the situation retaining walls will be from a variety of materials including stucco covered CMU or concrete walls; stacked segmented concrete block walls; and larger scale retaining wall systems (similar to those used on the neighboring town home project). Retaining walls also vary greatly in height from 18"-36" high landscape retaining walls to soften slopes, to 48" to 15' large scale walls retaining hill side slopes. See Wall Plan Exhibit.
- Wetlands / Flood Plains:** There are NO wetland areas or flood plains on the project.
- Archeological Site:** There are NO archeological sites on the project.
- Detention / Water Quality:** Detention and water quality will be accomplished per the County of Placer standards using a combination of surface detention basins, underground detention via oversized pipes and water clarifier vaults (to be sized).
- Drainage Report:** See attached Drainage Report for more information.
- Sections:** See Typical Site Cross Sections Exhibit & Preliminary Wall Plan

CURB, GUTTER & SIDEWALK IMPROVEMENTS
 (SOLID) PROPOSED 1-FT. CONTOURS
 (DASHED) EXISTING 1-FT. CONTOURS

LEGEND

- "LOCK AND LOAD" RETAINING WALL
- PILASTER AND FENCE
- SEGMENTAL BLOCK RETAINING WALL
- FREE-STANDING SOUND WALL
- ROCKERY WALL
- GRADE BREAK
- SITE & WALL SECTIONS (SEE SHEET 8 AND 10)
- STORM DRAIN MANHOLE
- AREA DRAIN
- CATCH BASIN
- STORM DRAIN PIPE
- DRAINAGE PATTERN
- SPOT ELEVATION
- BUILDING NUMBER

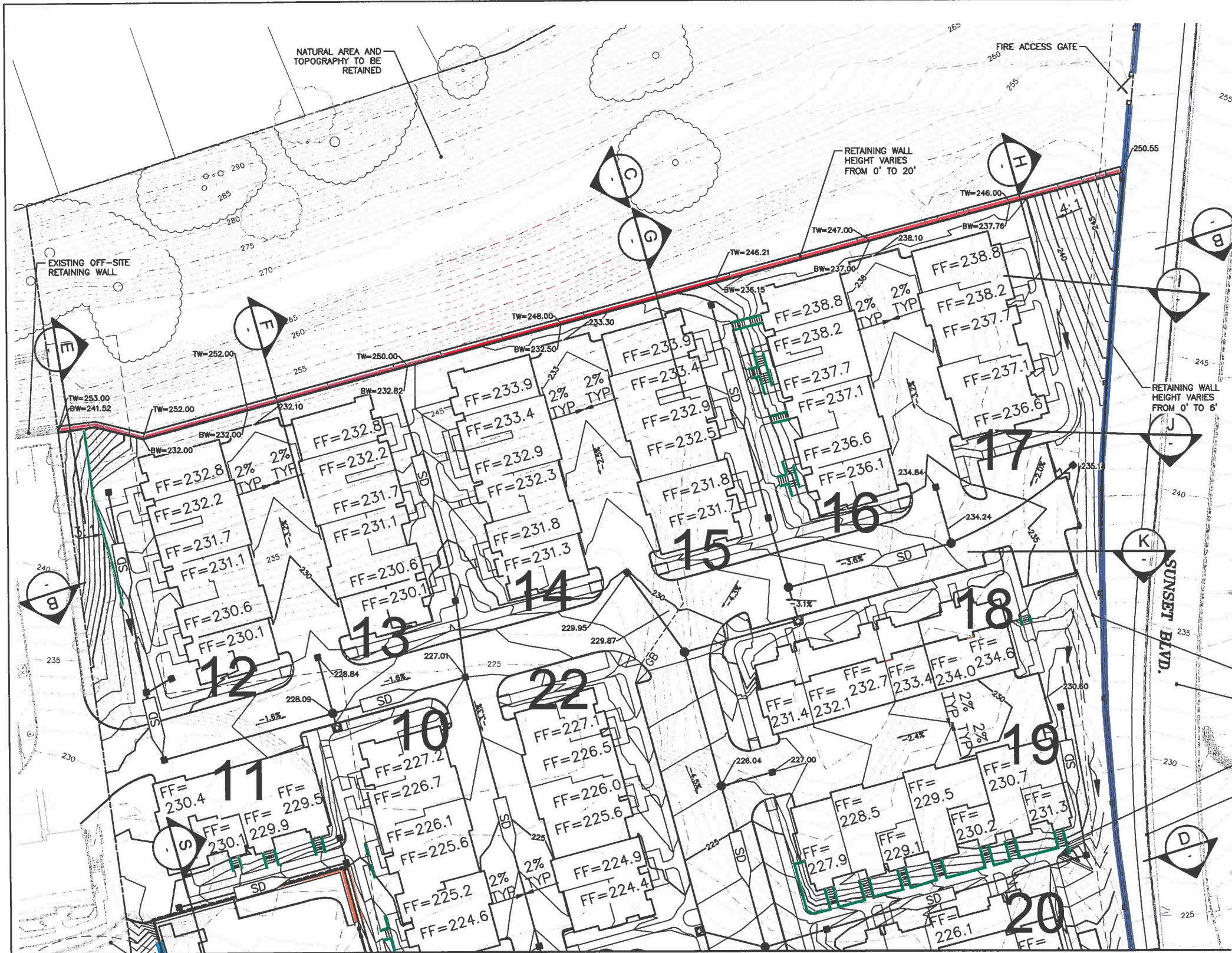
BUILDING INFORMATION

FF AT FRONT DOOR = 0.00' } BUILDINGS
 GF = -0.5' } NO: 1,2,4,5,7-17,19, 21-23,25,26

FF = 0.00' AT FRONT DOOR } BUILDINGS
 GF = -5.0' } NO: 3,6,18,20,24

PRELIMINARY GRADING PLAN (Overview)
SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California





LEGEND

- "LOCK AND LOAD" RETAINING WALL
- PILASTER AND FENCE
- SEGMENTAL BLOCK RETAINING WALL
- FREE-STANDING SOUND WALL
- ROCKERY WALL
- GRADE BREAK
- A SITE & WALL SECTIONS (SEE SHEET 8 AND 10)
- STORM DRAIN MANHOLE
- AREA DRAIN
- CATCH BASIN
- SD STORM DRAIN PIPE
- DRAINAGE PATTERN
- 208.05 SPOT ELEVATION
- 8** BUILDING NUMBER

BUILDING INFORMATION

FF AT FRONT DOOR= 0.00' } BUILDINGS
 GF = -0.5' } NO: 1,2,4,5,7-17,19,
 21-23,25,26

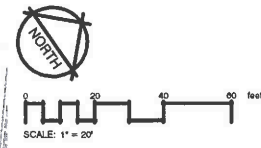
FF = 0.00' AT FRONT DOOR } BUILDINGS
 GF = -5.0' } NO: 3,6,18,20,24

(SOLID) PROPOSED
 1-FT. CONTOURS

(DASHED) EXISTING
 1-FT. CONTOURS

LANDSCAPE RETAINING WALL
 (TYP)

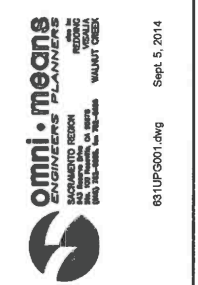
CURB, GUTTER &
 SIDEWALK IMPROVEMENTS



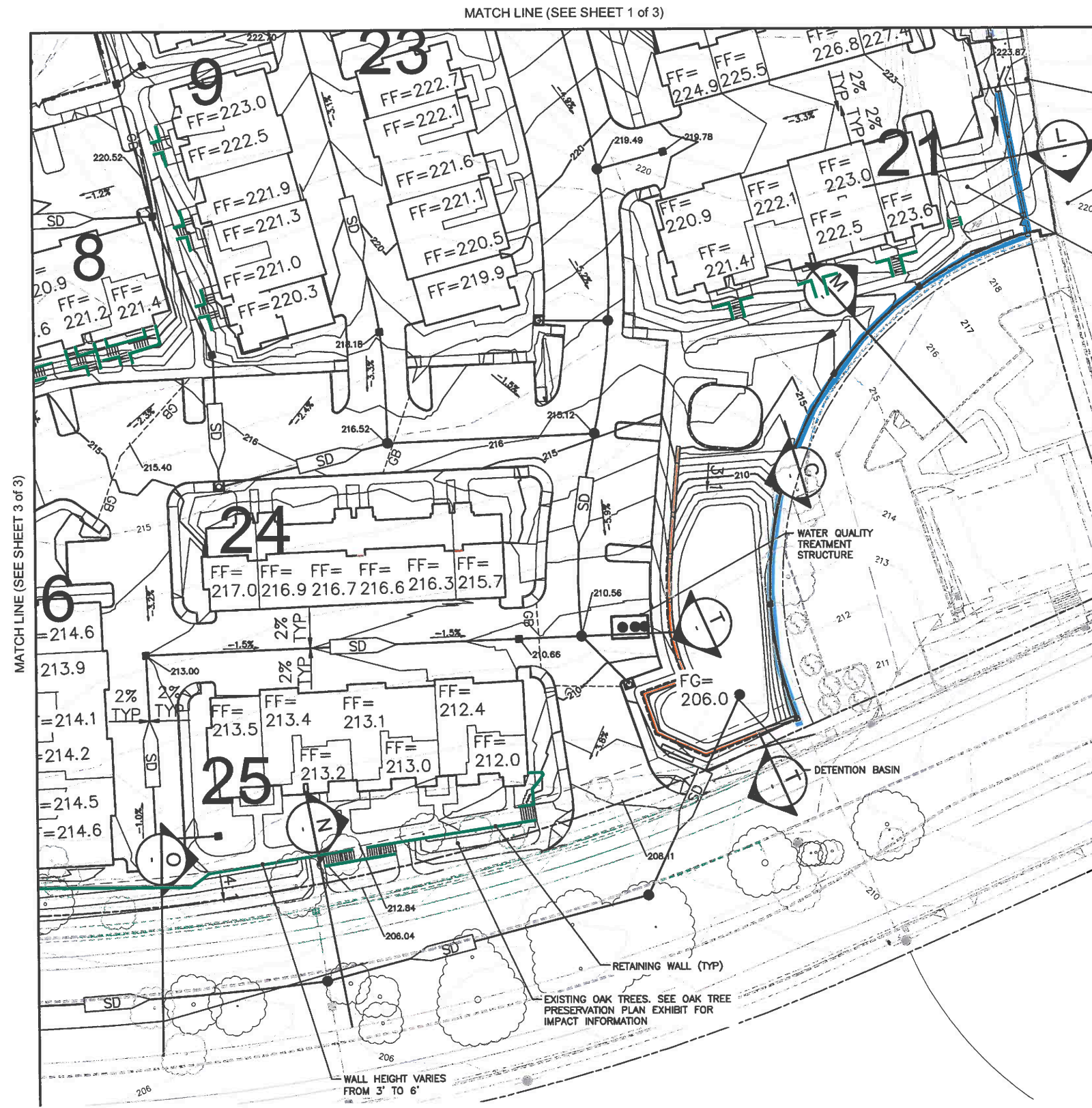
MATCH LINE (SEE SHEET 2 of 3)

EXISTING OFF-SITE
 ROCK RETAINING WALLS

PRELIMINARY GRADING PLAN (20 Scale, 1 of 3)
SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California

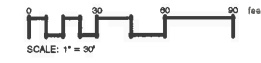


681UP001.dwg Sept. 5, 2014



MATCH LINE (SEE SHEET 3 of 3)

MATCH LINE (SEE SHEET 1 of 3)



LEGEND

- "LOCK AND LOAD" RETAINING WALL
- PILASTER AND FENCE
- SEGMENTAL BLOCK RETAINING WALL
- FREE-STANDING SOUND WALL
- ROCKERY WALL
- GRADE BREAK
- SITE & WALL SECTIONS (SEE SHEET 8 AND 10)
- STORM DRAIN MANHOLE
- AREA DRAIN
- CATCH BASIN
- STORM DRAIN PIPE
- DRAINAGE PATTERN
- SPOT ELEVATION
- BUILDING NUMBER

BUILDING INFORMATION

- FF AT FRONT DOOR= 0.00' } BUILDINGS
- GF = -0.5' } NO: 1,2,4,5,7-17,19, 21-23,25,26
- FF = 0.00' AT FRONT DOOR } BUILDINGS
- GF = -5.0' } NO: 3,6,18,20,24

CURB, GUTTER & SIDEWALK IMPROVEMENTS

(DASHED) EXISTING 1-FT. CONTOURS

(SOLID) PROPOSED 1-FT. CONTOURS

WATER QUALITY TREATMENT STRUCTURE

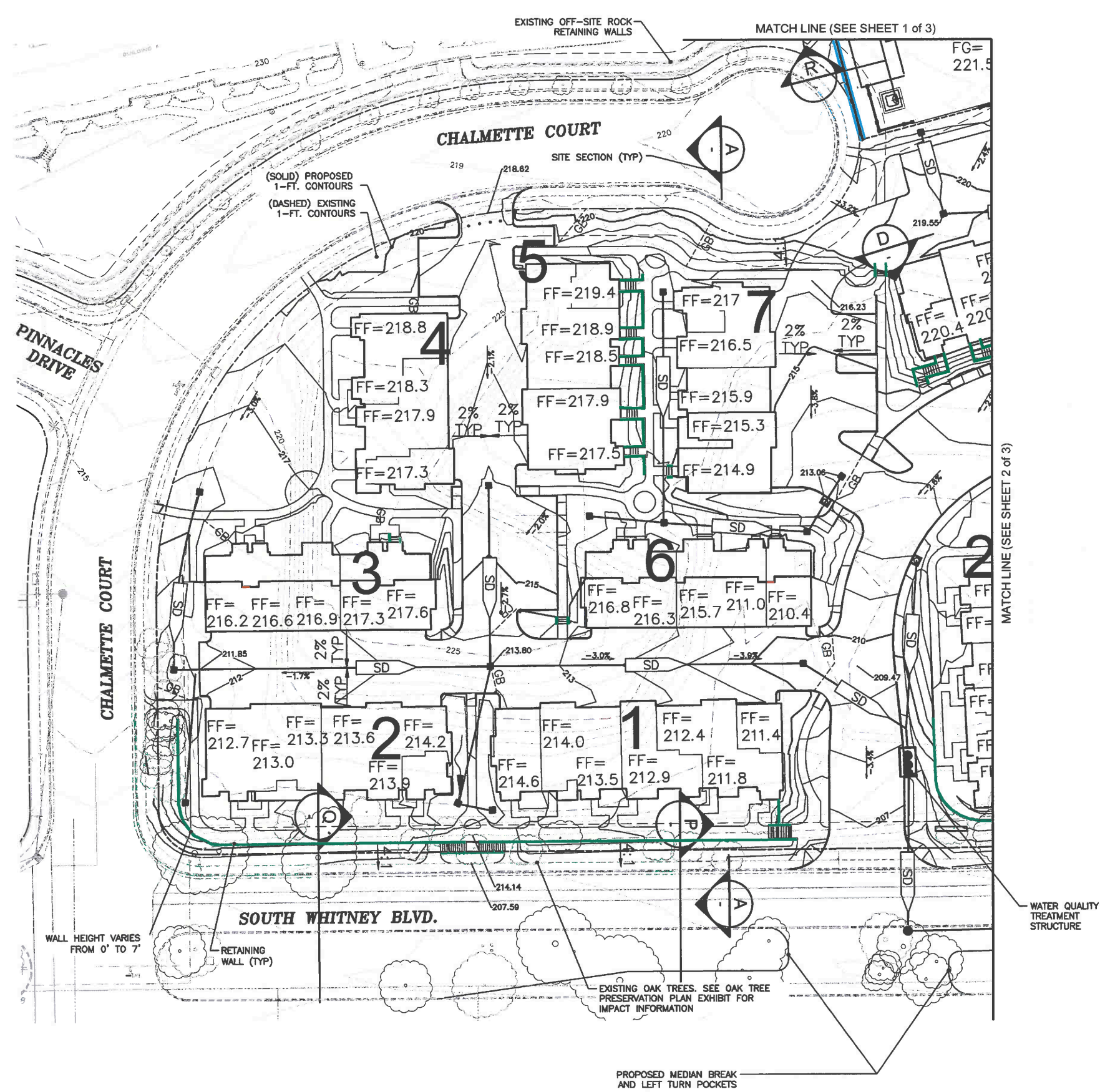
DETENTION BASIN

RETAINING WALL (TYP)

EXISTING OAK TREES. SEE OAK TREE PRESERVATION PLAN EXHIBIT FOR IMPACT INFORMATION

WALL HEIGHT VARIES FROM 3' TO 6'


PRELIMINARY GRADING PLAN (20 Scale, 2 of 3)
 SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California
 7 of 18



LEGEND

- "LOCK AND LOAD" RETAINING WALL
- PILASTER AND FENCE
- SEGMENTAL BLOCK RETAINING WALL
- FREE-STANDING SOUND WALL
- ROCKERY WALL
- GRADE BREAK
- SITE & WALL SECTIONS (SEE SHEET 8 AND 10)
- STORM DRAIN MANHOLE
- AREA DRAIN
- CATCH BASIN
- STORM DRAIN PIPE
- DRAINAGE PATTERN
- SPOT ELEVATION
- BUILDING NUMBER

BUILDING INFORMATION

FF AT FRONT DOOR= 0.00' } BUILDINGS
 GF = -0.5' } NO: 1,2,4,5,7-17,19,
 21-23,25,26

FF = 0.00' AT FRONT DOOR } BUILDINGS
 GF = -5.0' } NO: 3,6,18,20,24

PRELIMINARY GRADING PLAN (20 Scale, 3 of 3)
SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California

omni·means
 ENGINEERS PLANNERS
 ARCHITECTS

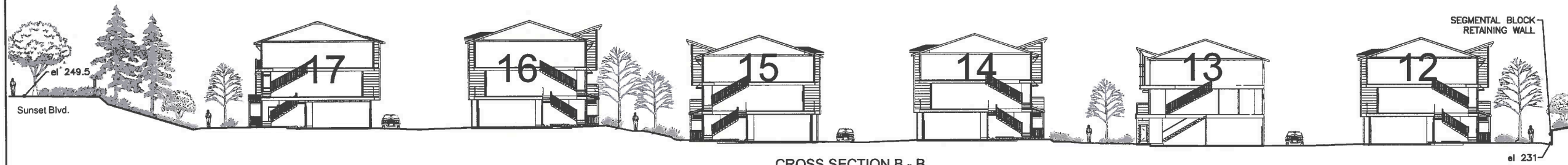
831UP0001.dwg Sept. 5, 2014

CROSS SECTION NOTES

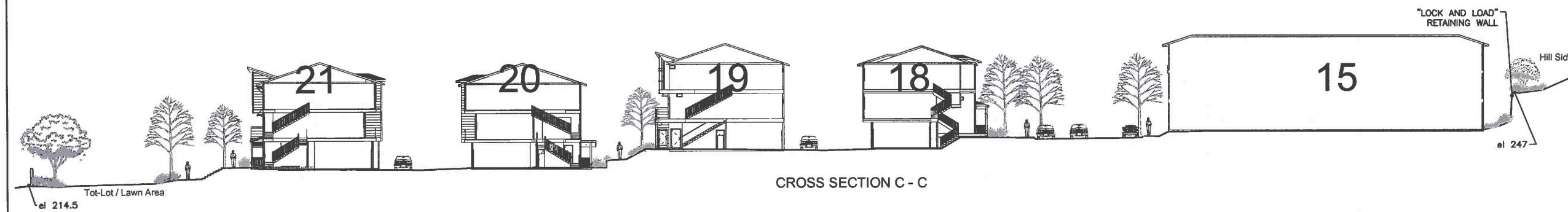
These sections are intended to illustrate the general proposed topographical relationships throughout the project. They are not intended to be an exact representation of final grade, finish floor elevations, walls, landscaping, etc.



CROSS SECTION A - A



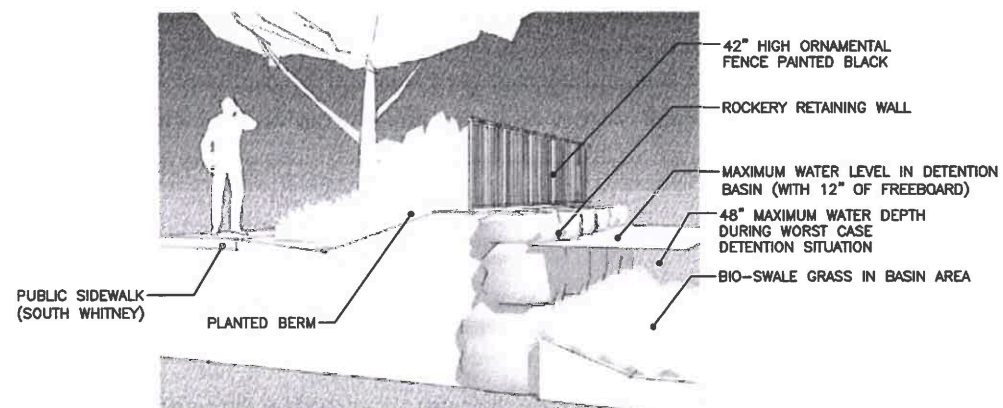
CROSS SECTION B - B



CROSS SECTION C - C



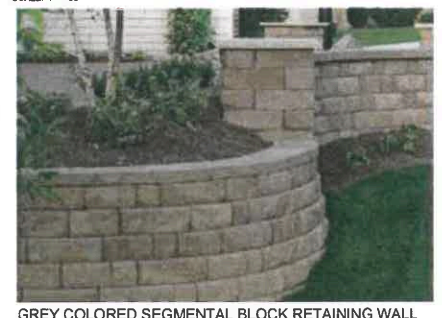
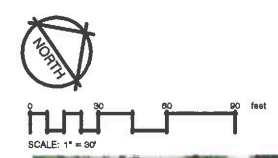
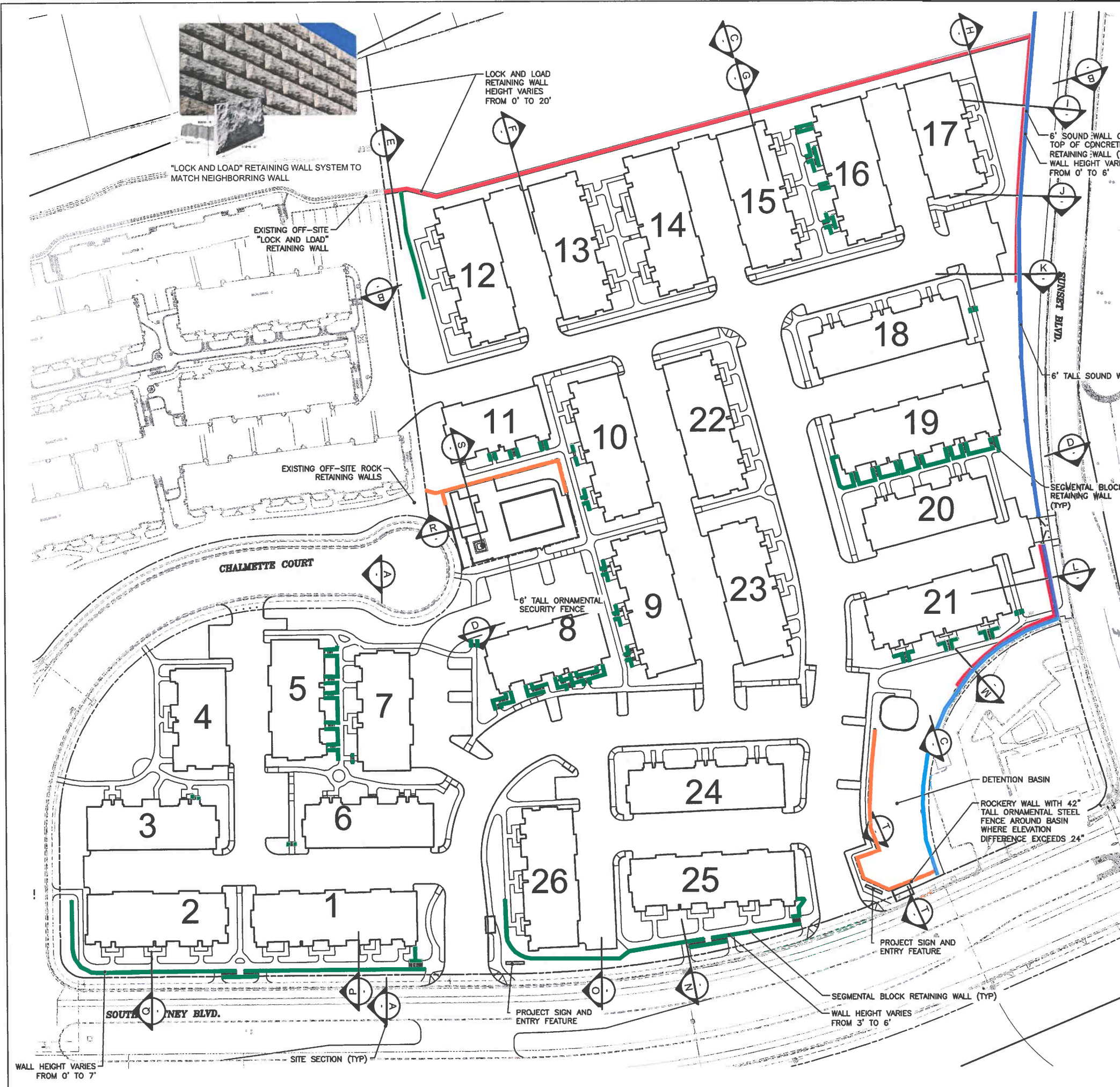
CROSS SECTION D - D



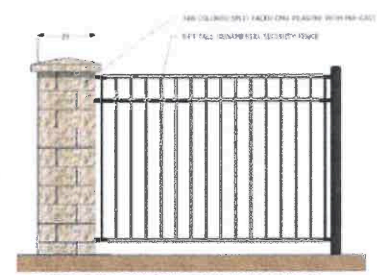
CROSS SECTION T - T

PRELIMINARY SITE SECTIONS
SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California





GREY COLORED SEGMENTAL BLOCK RETAINING WALL



SPLIT FACED CMU PILASTER AND FENCE



TAN COLORED SPLIT FACE CMU USED FOR SOUND WALL (ON CONCRETE RETAINING WHERE INDICATED)



GRANITE ROCKERY RETAINING WALL

- LEGEND**
- CONCRETE OR "LOCK AND LOAD" RETAINING WALL
 - SPLIT FACED CMU PILASTER AND FENCE
 - SEGMENTAL BLOCK RETAINING WALL
 - FREE-STANDING SPLIT FACED CMU SOUND WALL
 - ROCKERY WALL

- SITE & WALL SECTIONS
- BUILDING NUMBER

SEE SHEET 10 FOR TYPICAL WALL SECTIONS

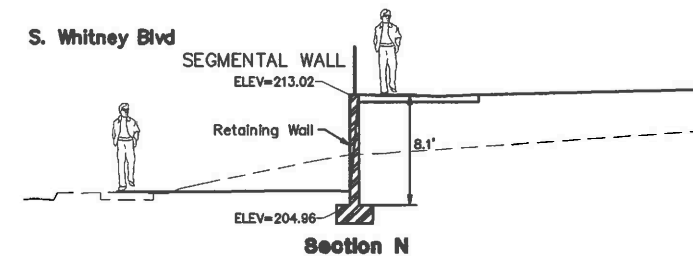
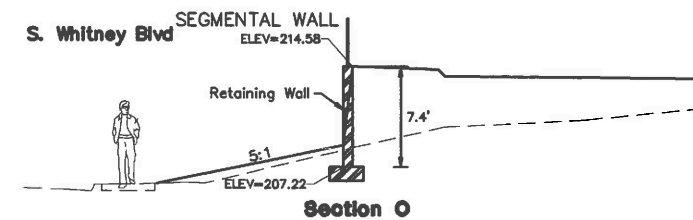
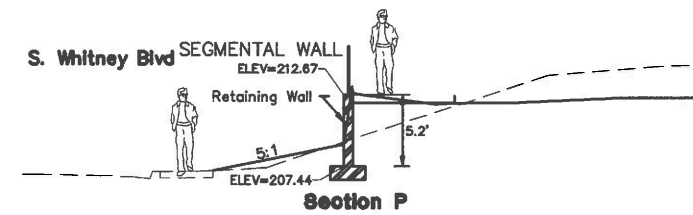
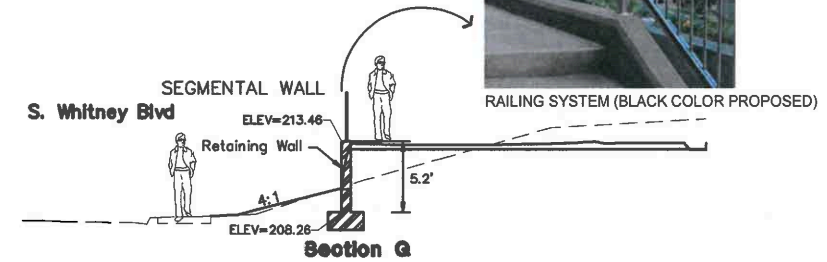
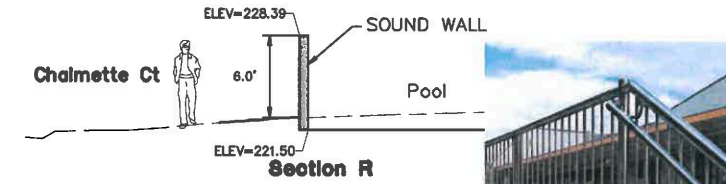
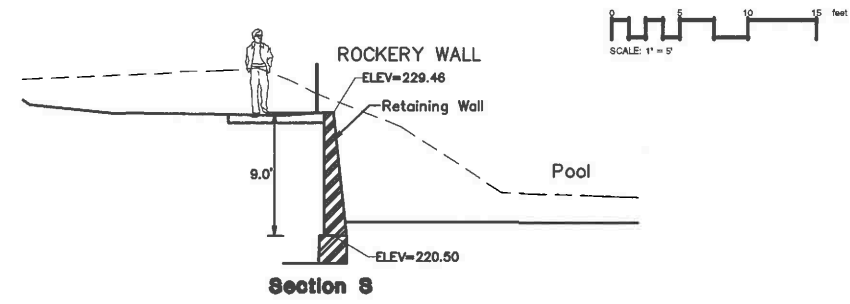
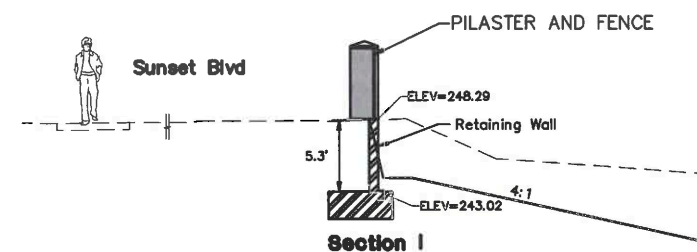
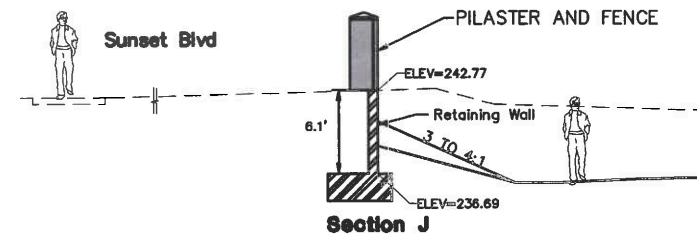
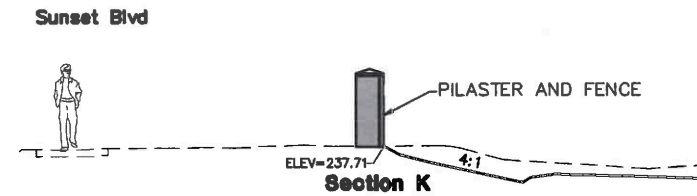
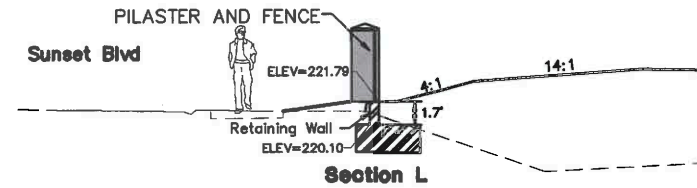
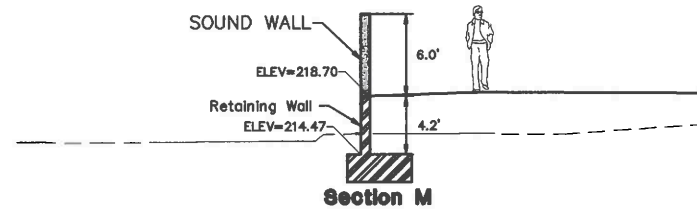
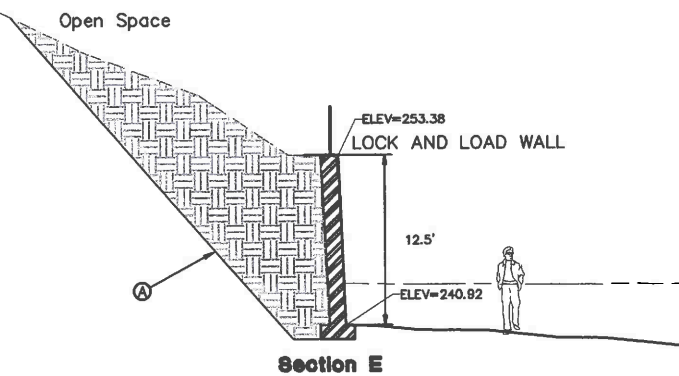
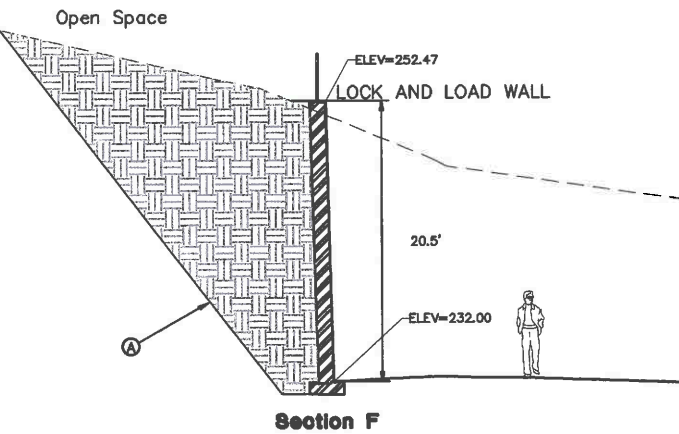
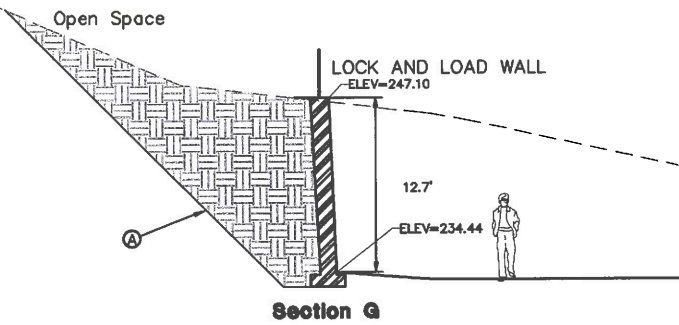
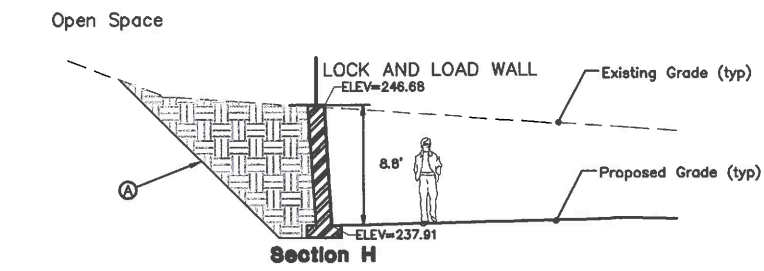
SEE FOLLOWING SHEET 8 FOR TYPICAL SITE SECTIONS



PRELIMINARY WALL PLAN (Overview)
SUNSET HILLS TOWN HOMES, By USA Investment Associates
Rocklin, California

LEGEND

(A) Cut/ backfill as needed to accommodate construction and geotextile fabric.

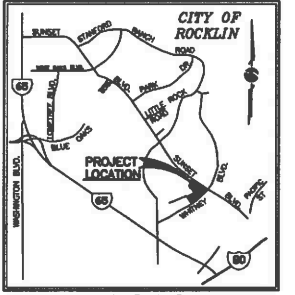
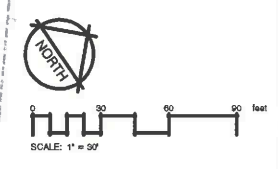
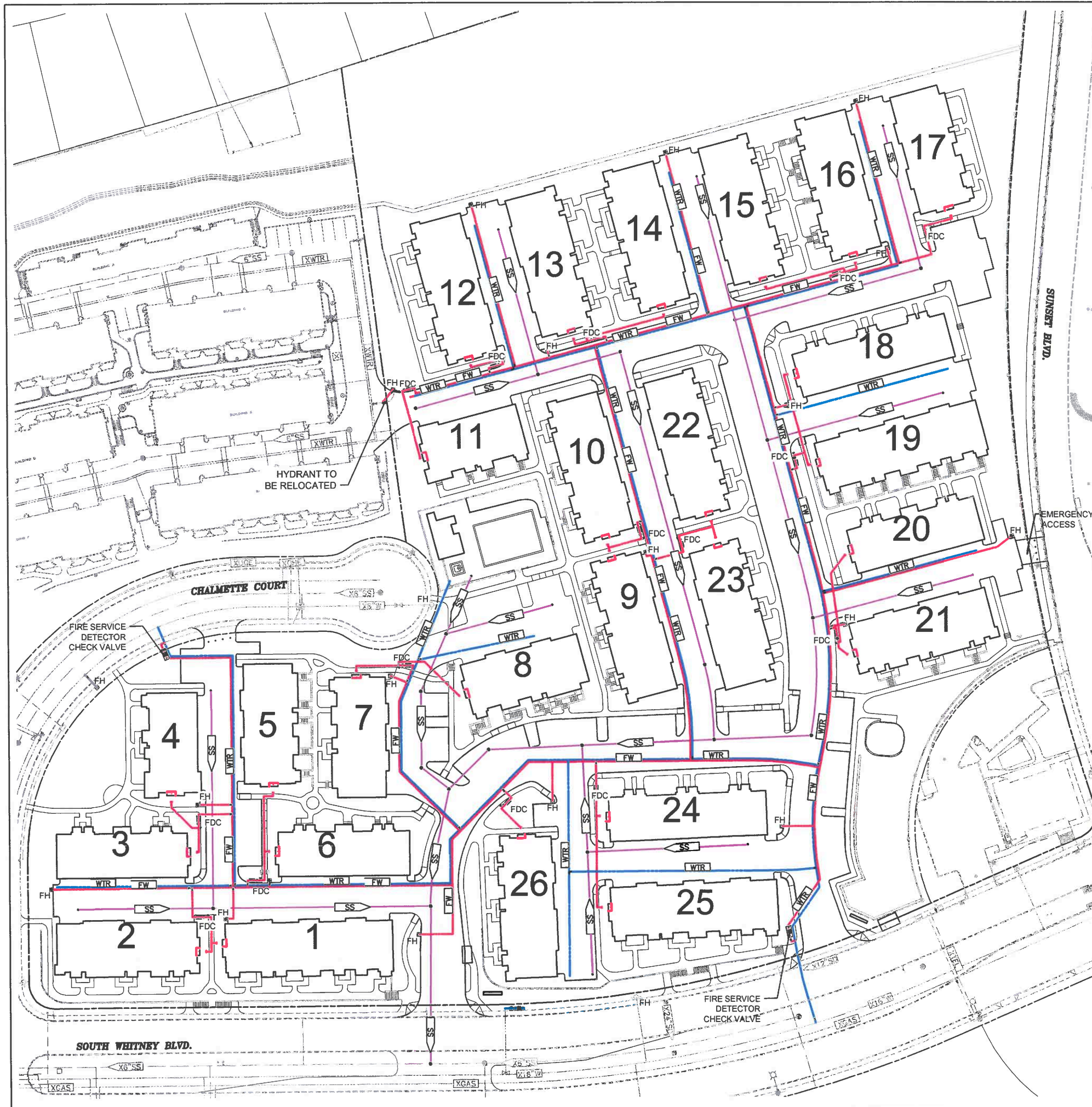


PRELIMINARY WALL SECTIONS
 SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California

omni means
 ENGINEERS PLANNERS
 ARCHITECTS



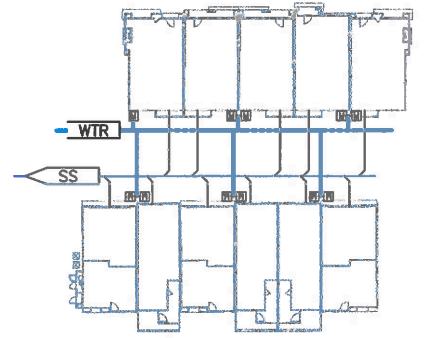
631UPW001.dwg
 Sept. 5, 2014



- LEGEND**
- SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - SS — SANITARY SEWER LINE
 - WTR — DOMESTIC WATER LINE
 - FW — FIRE WATER LINE
 - FH FIRE HYDRANT
 - FDC FIRE DEPARTMENT CONNECTION

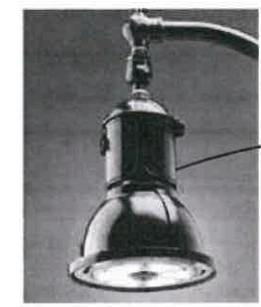
NOTES

1. SEWER LATERAL TO ALIGN WITH CENTER OF GARAGE.
2. EACH UNIT TO HAVE INDIVIDUAL WATER METER.

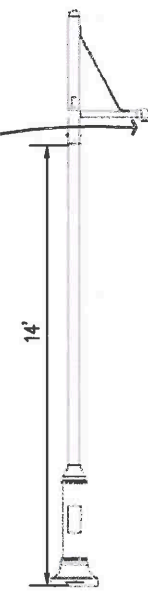


**TYPICAL LAYOUT
WATER SERVICE & SEWER LATERAL**
NOT TO SCALE

SITE LIGHTING FIXTURES AND POLES

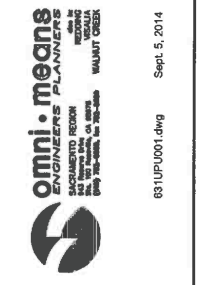


"KING" LED Pendant Lighting
Fixture K803-FAFL, Black Color



"KING" LAGUNA STYLE
LIGHT POLE - 14'
HEIGHT, BLACK
COLOR

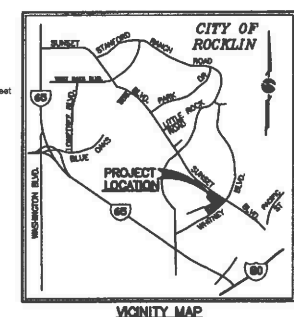
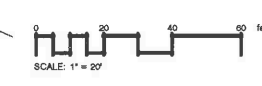
Note: Fixtures and poles associated with on-site parking area and walkway lighting. Lighting locations to be determined during improvement plan preparation.



PRELIMINARY UTILITY PLAN
SUNSET HILLS TOWN HOMES, By USA Investment Associates
Rocklin, California



See Enlargement Exhibit
 (42) 15-gallon size Oak Trees proposed for planting in the Open Space Area equals 42-in of mitigation.
 See Preliminary Landscape Plan.



Proposed boundary of Lot A for open space conservation purpose, see Tentative Map

ARBORIST

ABACUS
 Arborist: Nicole Harrison P.O.
 BOX 4248
 Auburn, CA 95604
 530-305-0165

NOTES:

1. As a result of required site grading, the trees located along Chalmette Court and South Whitney will be removed. Trees will also be removed in areas needed to accommodate the median break and left turn pockets on South Whitney Blvd.
2. Tree mitigation will be a combination of planted oaks in Lot A and mitigation "fees in-leiu of".
3. Spot elevations at the base of each tree not shown for clarity purposes. Utilize contour lines to identify approximate tree elevation. Note: There are no trees that are to remain that will be impacted by proposed grading.
4. Trees being preserve along the western boundary of the site will be preserved in a conservation easement.
5. All trees along South Whitney and along Chalmette Court are to be removed in order to grade the project.
6. See following 20-scale exhibits for enlargements of the existing oak tree plan, and the associated tree inventory table.
7. Temporary irrigation to be installed to establish oak tree planted for mitigation.

See Enlargement Exhibit

DEVELOPMENT IMPACT SUMMARY

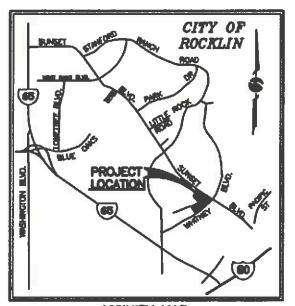
Total Inches of Trees	= 1463 in
Total Inches to be Removed	= 818 in
Total Inches, no mit. (NM)* required	= 108 in
Total Inches to be Mitigated	= 710 in

*Per ordinance, trees ranked 0, 1, or 2 may be removed without mitigation (NM) required. See Arborist report for more information.

Trees to be removed (typical)
 Proposed Median Break and Left Turn Lane Pockets

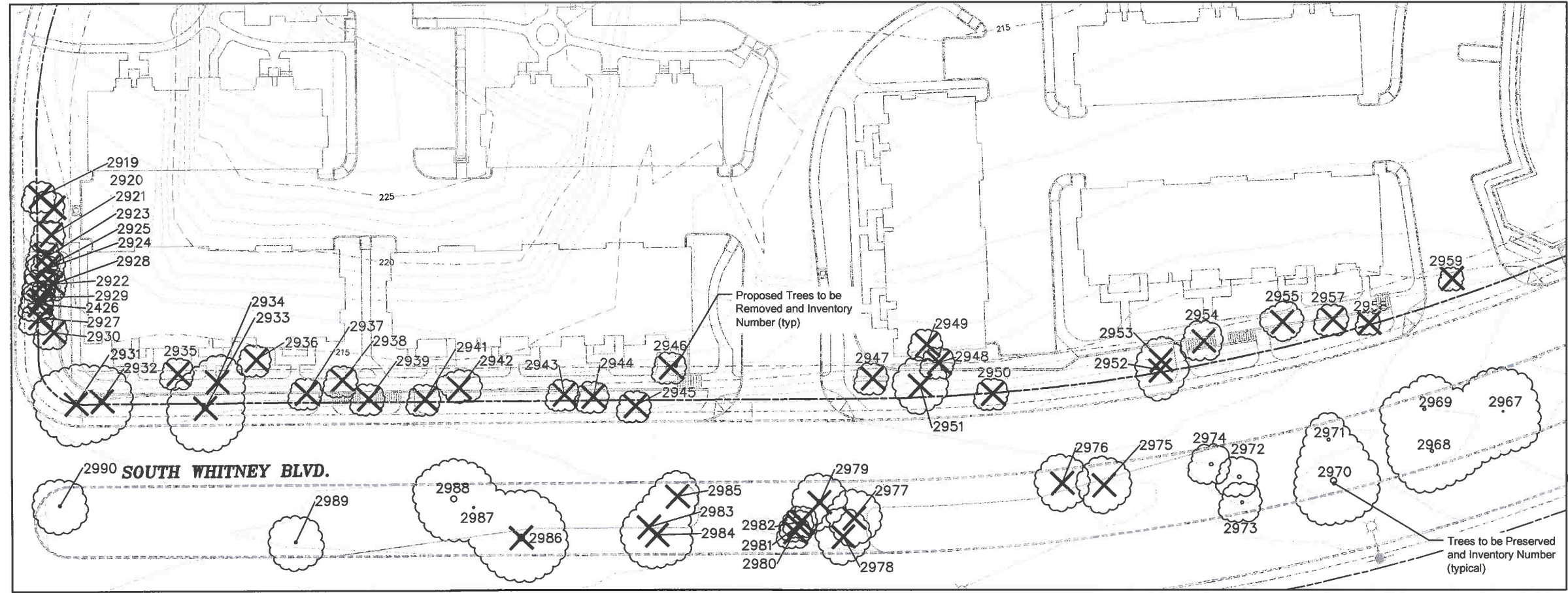
Trees to be preserved (typical)

ARBORIST
 ABACUS
 Arborist: Nicole Harrison
 P.O. BOX 4248
 Auburn, CA 95604
 530-305-0165



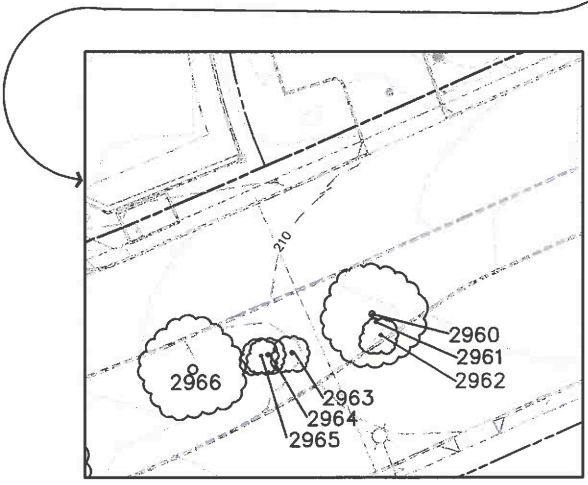
831UP0001.dwg September 5, 2014

OAK TREE PRESERVATION PLAN (Enlargement)
SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California

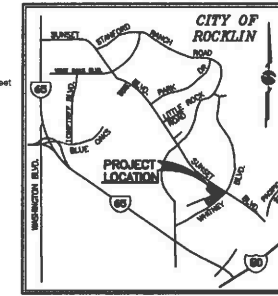
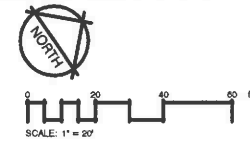


EASTERN AREA OF THE PROJECT

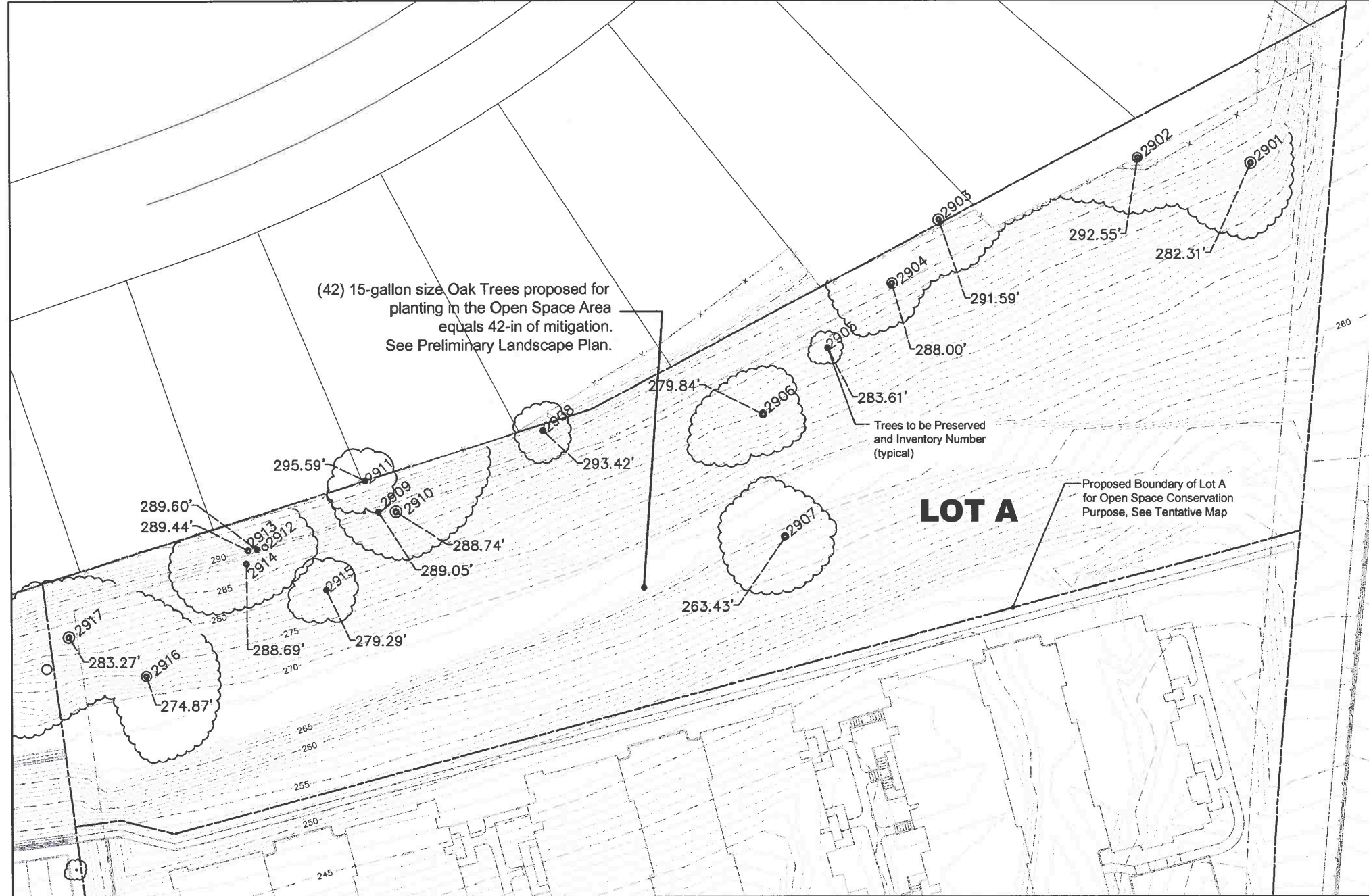
Note: Spot elevations not shown for clarity. Use contours to reference approximate elevation of trees.



ARBORIST
 ABACUS
 Arborist: Nicole Harrison P.O.
 BOX 4248
 Auburn, CA 95604
 530-305-0165



VICINITY MAP
 NO SCALE



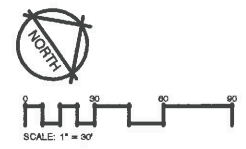
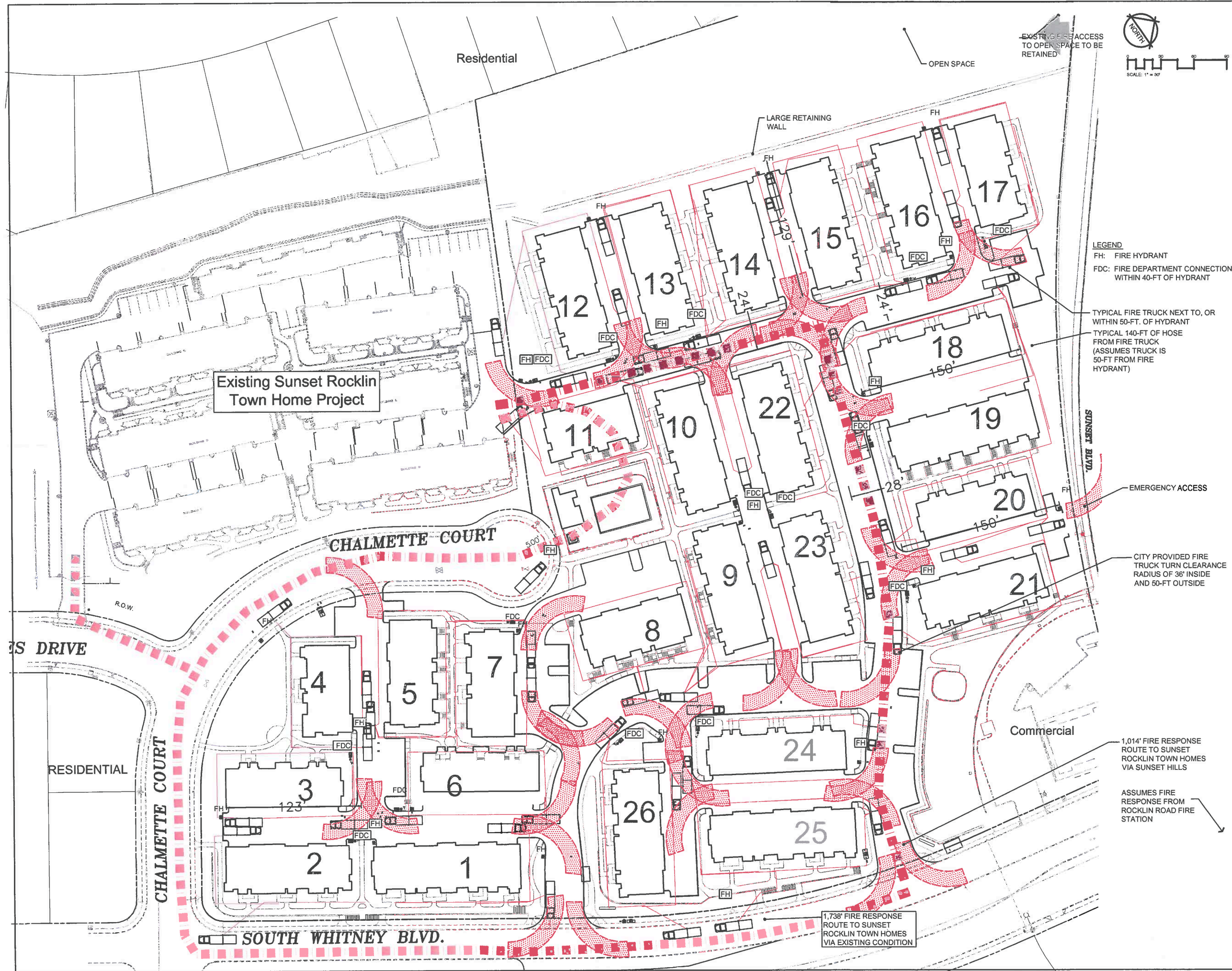
(42) 15-gallon size Oak Trees proposed for planting in the Open Space Area equals 42-in of mitigation. See Preliminary Landscape Plan.

Trees to be Preserved and Inventory Number (typical)

LOT A

Proposed Boundary of Lot A for Open Space Conservation Purpose, See Tentative Map

WESTERN AREA OF THE PROJECT TO BE PRESERVED IN A CONSERVATION LOT



LEGEND
 FH: FIRE HYDRANT
 FDC: FIRE DEPARTMENT CONNECTION WITHIN 40-FT OF HYDRANT

TYPICAL FIRE TRUCK NEXT TO, OR WITHIN 50-FT. OF HYDRANT
 TYPICAL 140-FT. OF HOSE FROM FIRE TRUCK (ASSUMES TRUCK IS 50-FT FROM FIRE HYDRANT)

EMERGENCY ACCESS

CITY PROVIDED FIRE TRUCK TURN CLEARANCE RADIUS OF 36' INSIDE AND 50-FT OUTSIDE

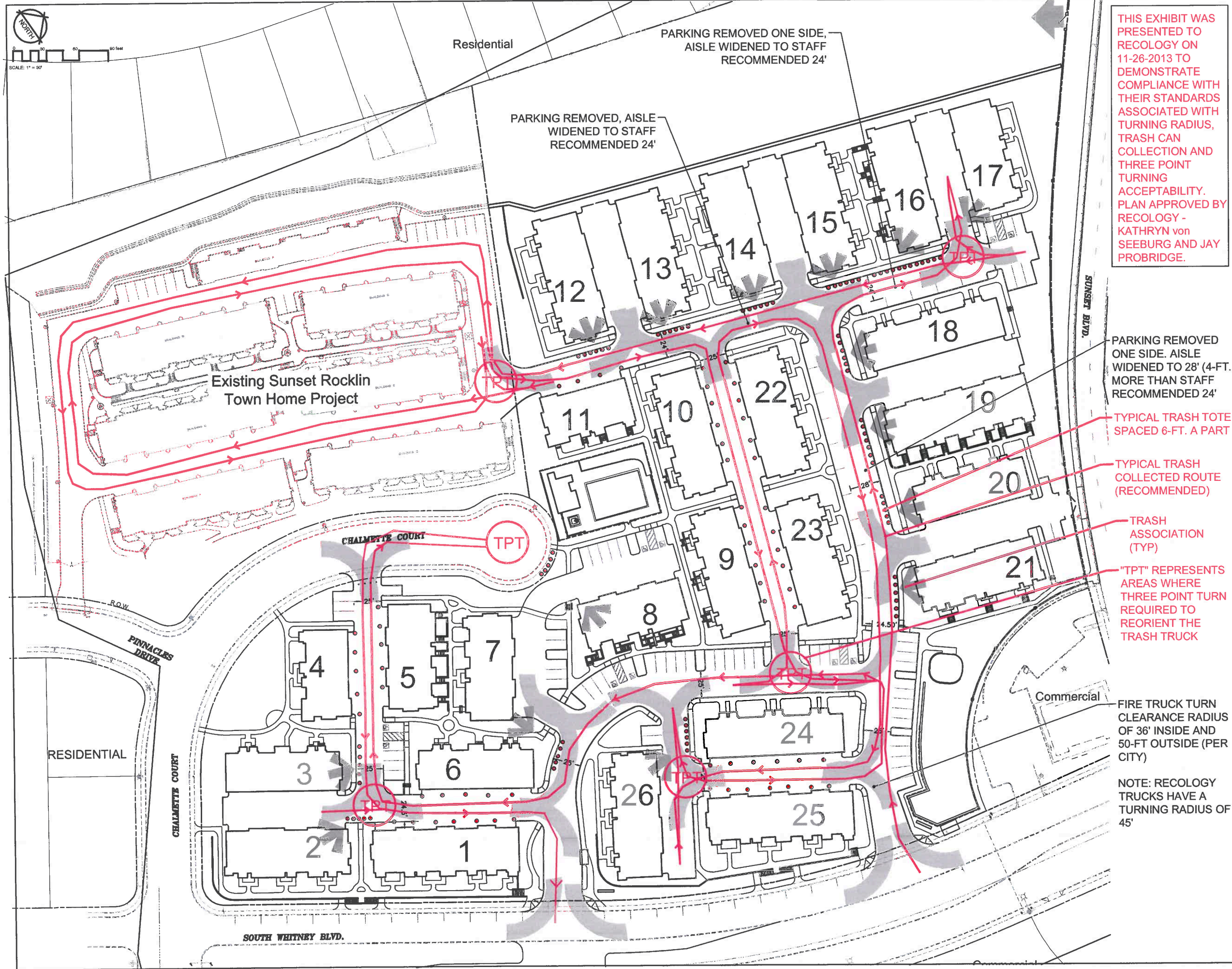
1,014' FIRE RESPONSE ROUTE TO SUNSET ROCKLIN TOWN HOMES VIA SUNSET HILLS

ASSUMES FIRE RESPONSE FROM ROCKLIN ROAD FIRE STATION

1,738' FIRE RESPONSE ROUTE TO SUNSET ROCKLIN TOWN HOMES VIA EXISTING CONDITION



FIRE TRUCK ACCESS
 SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California



THIS EXHIBIT WAS PRESENTED TO RECOLOGY ON 11-26-2013 TO DEMONSTRATE COMPLIANCE WITH THEIR STANDARDS ASSOCIATED WITH TURNING RADIUS, TRASH CAN COLLECTION AND THREE POINT TURNING ACCEPTABILITY. PLAN APPROVED BY RECOLOGY - KATHRYN von SEEBURG AND JAY PROBRIDGE.

PARKING REMOVED ONE SIDE. AISLE WIDENED TO 28' (4-FT. MORE THAN STAFF RECOMMENDED 24')

TYPICAL TRASH TOTE SPACED 6-FT. A PART

TYPICAL TRASH COLLECTED ROUTE (RECOMMENDED)

TRASH ASSOCIATION (TYP)

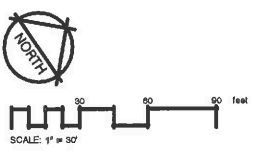
"TPT" REPRESENTS AREAS WHERE THREE POINT TURN REQUIRED TO REORIENT THE TRASH TRUCK

FIRE TRUCK TURN CLEARANCE RADIUS OF 36' INSIDE AND 50-FT OUTSIDE (PER CITY)

NOTE: RECOLOGY TRUCKS HAVE A TURNING RADIUS OF 45'



TRASH COLLECTION
 SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California



PRELIMINARY LANDSCAPE PLAN OVERVIEW

A Base Landscape Theme: Mediterranean
 A Mediterranean - influenced landscape is lush, colorful, inviting, generally low maintenance, and filled with drought-tolerant plants. The Mediterranean landscape is ideally suited for Rocklin's climate and complements the architectural style of the project.

Basics of a Mediterranean Garden
 There are certain core characteristics that define Mediterranean style. You won't find vast expanses of green lawn; instead, plantings are more contained, and even the larger areas are more likely to be filled with shrubs, perennials, annuals and ground covers. Earth tones are the dominant colors on houses and outdoor structures, punctuated by bright accent colors like red and purple.

The tentative plant palette on this exhibit identifies a variety of drought tolerant and California native plants suited to the Mediterranean style landscape.

B Detention Basin Landscape Theme: Water Quality /
 The detention basin is expected to provide a portion of the detention for the storm water run-off created by the project. Toward that end, the basin will utilize a bio-swale grass in the main flood area of the basin, along with native to Northern California plant groups / ground covers along the sloped area. Plant materials in the flood area will be selected with the ability to withstand water inundation during flood periods.

C Conservation Open Space Theme: Native Plant Materials
 Except in areas disturbed by the construction of the retaining wall, and oak tree mitigation planting the natural landscape in this area is intended to remain unchanged. Where disturbance is necessary, native grasses / native shrub and Western Redbuds will be introduced to create a transition between the project landscape and the native landscape. Maintenance and fire access to this area will remain via the existing access point from Sunset Blvd.

D South Whitney Blvd. Median Theme: Mediterranean
 The landscape median along South Whitney Blvd. will be modified to accommodate the new turn lanes. The landscape area disturbed by construction will be replaced with native oaks and an under-story landscape consisting of Mediterranean plant materials.

E Perimeter Landscape Theme: Oak woodland / Mediterranean
 The streetscape area between the public sidewalk and the project perimeter will include street trees and an under-story landscape consisting of Mediterranean plant materials. Boulders will also be incorporated into the landscape design.

Parking Area Shading
 Visitor parking spaces will be shaded by trees located at least 1 tree very 5 spaces.

Irrigation Design
 The irrigation design will consist mainly of low water use drip and in-line drip irrigation controlled by electronic valves and a "smart" irrigation controller. Additional low volume rotary irrigation will be used on lawn / grass areas or in landscape areas where spray irrigating ground cover areas is appropriate. Regardless of the type of irrigation proposed the project irrigation design will meet the requirements of the State of California Water Conservation in the Landscape Act.

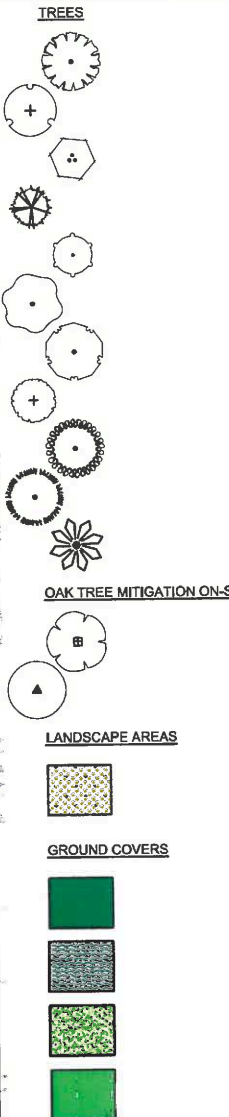
See Also Grading Plan Exhibits That Include Typical Wall Sections and Images of Wall Types.

BOTANICAL NAME	COMMON NAME
Acer rubrum 'Autumn Blaze' Med. Water Use	Autumn Blaze Maple
Arbutus x 'Marina' Low Water Use	Arbutus Standard
Cercis occidentalis Low Water Use	Western Redbud Multi-trunk
Cupressus sempervirens Low Water Use	Italian Cypress
Lagerstroemia Indica 'Muskogee' Low Water Use	Muskogee Cratape Myrtle
Pistacia chinensis 'Keith Davey' Low Water Use	Keith Davey Chinese Pistache
Platanus x acerifolia 'Bloodgood' Medium Water Use	London Plane Tree
Prunus cerasifera 'Newport' Med. Water Use	Newport Flowering Plum
Quercus ilax Low Water Use	Holly Oak
Sequoia sempervirens 'Aptos Blue' Medium Water Use	Aptos Blue Redwood
Syagrus romanzoffiana Med. Water Use	Queen Palm

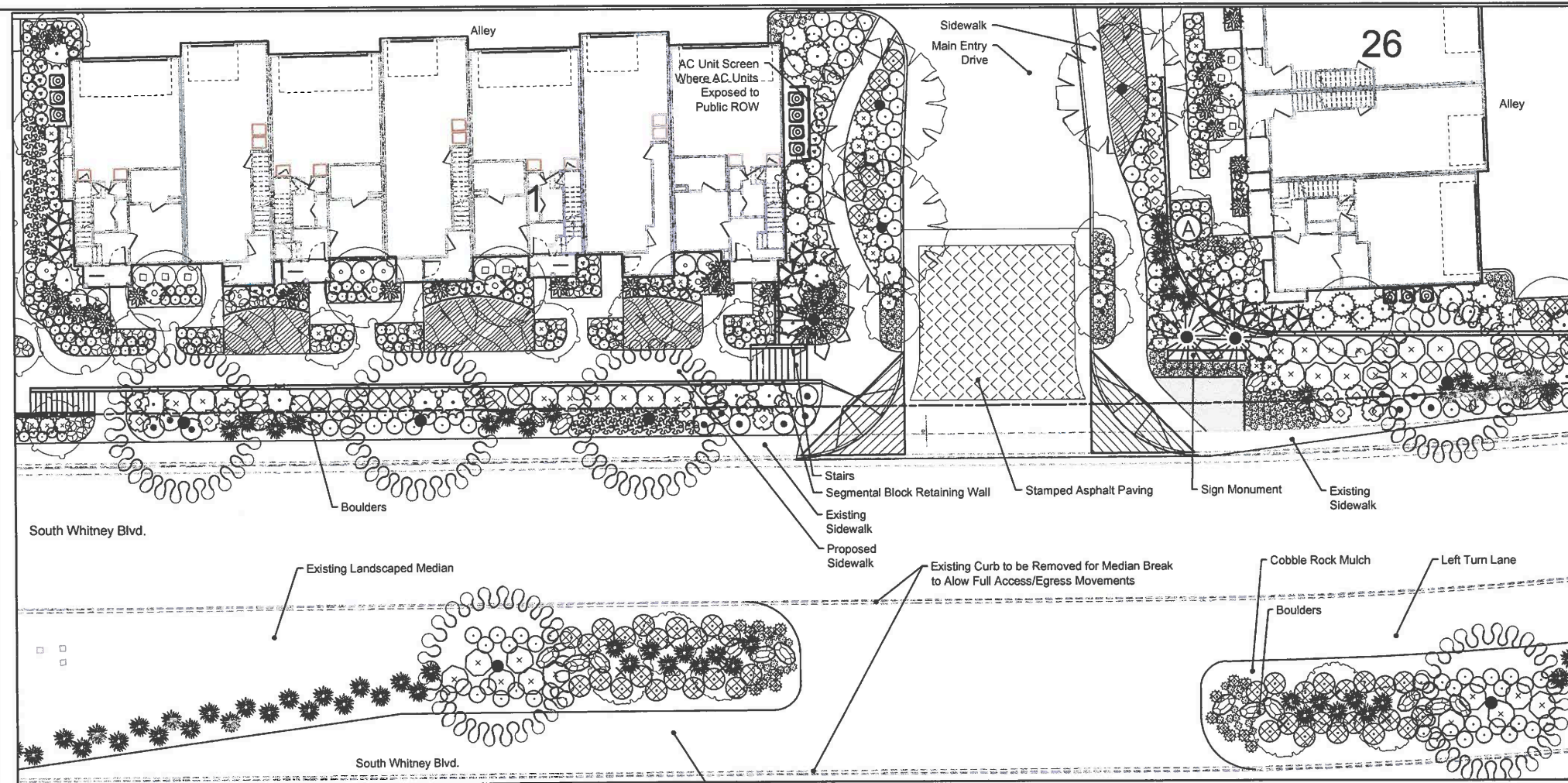
BOTANICAL NAME	COMMON NAME
Quercus douglasii Mitigation Tree	Blue Oak
Quercus lobata Mitigation Tree	Valley Oak

QTY	BOTANICAL NAME
76,701 sf	Open Space Natural Area

QTY	BOTANICAL NAME
83,158 sf	Landscape Area Low and Medium Water Use
3,806 sf	Sod - Bio Swale Mix Low Water Use
6,548 sf	Sod x 'Bolero Plus' High Water Use
29,832 sf	Sod x 'Mow Free Native' Low Water Use



NOTE:
 Due to the scale of this exhibit only the major trees and typical planting type areas (shrubs and ground covers, lawn, etc.) are illustrated. See the following exhibit for an enlargement of a "typical" planting area depicting density and plant type relationships. See also the proposed complete plant palette on sheet 3 of 5.



TYPICAL LANDSCAPE AROUND BUILDINGS, ENTRY ALONG SOUTH WHITNEY BOULEVARD



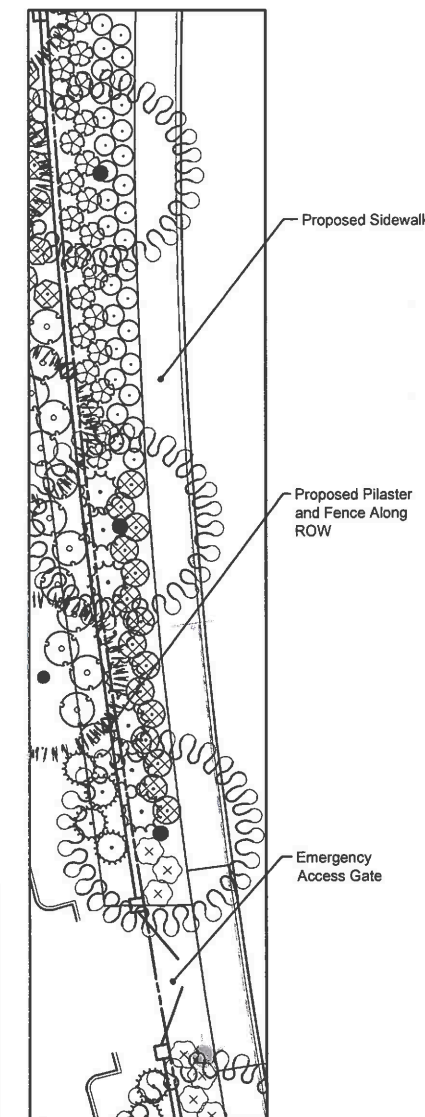
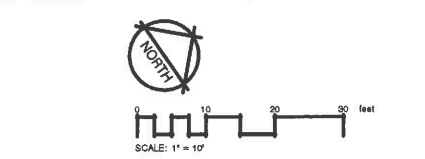
AC UNIT SCREEN: Wood lattice frame components painted to match building wall.



ORNAMENTAL FENCING STYLE AROUND POOL AND TOT-LOT

PLANT PALETTE ASSOCIATED WITH THIS EXHIBIT ONLY (SEE FOLLOWING SHEET FOR COMPLETE PROJECT PLANT PALETTE)

BOTANICAL NAME	COMMON NAME	CONT
<i>Acer rubrum</i> 'Autumn Blaze'	Autumn Blaze Maple	15 gal
<i>Arbutus</i> x 'Marina'	Arbutus Standard	15 gal
<i>Cupressus sempervirens</i>	Italian Cypress	15 gal
<i>Lagerstroemia indica</i> 'Muskogee'	Muskogee Crape Myrtle	15 gal
<i>Prunus cerasifera</i> 'Newport'	Newport Flowering Plum	15 gal
<i>Quercus ilex</i>	Holly Oak	15 gal
<i>Syagrus romanzoffiana</i>	Queen Palm	14-ft BT
SHRUBS		
<i>Berberis thunbergii</i> 'Atropurpurea'	Red Leaf Japanese Barberry	5 gal
<i>Berberis thunbergii</i> 'Rose Glow'	Rosy Glow Barberry	5 gal
<i>Callistemon citrinus</i> 'Little John'	Dwarf Bottle Brush	5 gal
<i>Nandina domestica</i> 'Compacta'	Compact Heavenly Bamboo	5 gal
<i>Nerium oleander</i> 'Petite Pink'	Petite Pink Oleander	5 gal
<i>Phormium tenax</i> 'Rubrum'	New Zealand Flax	5 gal
<i>Prunus caroliniana</i> 'Compacta'	Carolina Cherry	5 gal
<i>Raphiolepis indica</i> 'Ballerina'	Indian Hawthorne	5 gal
<i>Raphiolepis indica</i> 'Clara'	Clara India Hawthorn	5 gal
<i>Salvia greggii</i> 'Lipstick'	Autumn Sage	5 gal
GRASSES		
<i>Muhlenbergia capillaris</i> 'Regal Mist'™	Muhly	1 gal
<i>Muhlenbergia rigens</i>	Deer Grass	1 gal
PERENNIALS AND GROUND COVERS		
<i>Agapanthus praecox orientalis</i>	Lily of the Nile	1 gal
<i>Arcostaphylos</i> x 'Emerald Carpet'	Emerald Carpet Manzanita	1 gal
<i>Dietes bicolor</i>	Fortnight Lily	1 gal
<i>Rosa</i> x 'Flower Carpet Red'	Red Groundcover Rose	1 gal
<i>Rosa</i> x 'Flower Carpet Coral'	Flower Carpet Coral Rose	2 gal
<i>Rosa</i> x 'Flower Carpet White'	Flower Carpet Rose - White	2 gal
<i>Trachelospermum asiaticum</i> 'Asiatic'	Asiatic Dwarf Star Jasmine	1 gal
<i>Tulbaghia violacea</i>	Society Garlic	1 gal
<i>Tulbaghia violacea</i> 'Silver Lace'	Silver Lace Society Garlic	1 gal
<i>Verbena tenuisecta</i>	Rock Verbena	1 gal
GROUND COVERS		
<i>Sod</i> x 'Bolero Plus'	Bolero Plus Lawn Sod	Sod
<i>Sod</i> x 'Mow Free Native'	Mow Free Native Mix	Sod

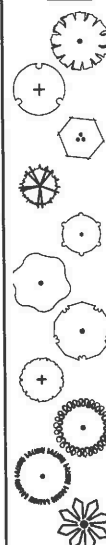


TYPICAL ROW LANDSCAPE ALONG SUNSET BOULEVARD

This exhibit is intended to demonstrate the typical planting density layout proposed and the plant mixture types (tree, shrubs, ground covers, perennials) throughout the project. It should be noted that the plants used in this view do not represent the entire plant palette proposed for the project. Exposure, slope condition, and size of planter area will dictate the final planting design.

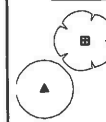
PLANT SCHEDULE

TREES



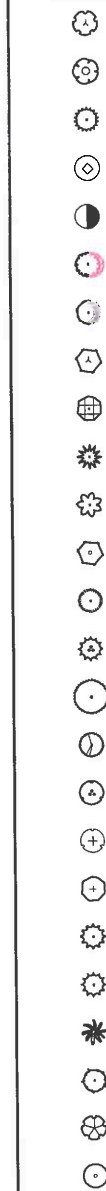
BOTANICAL NAME	COMMON NAME	CONT
Acer rubrum 'Autumn Blaze' Med. Water Use	Autumn Blaze Maple	15 gal
Arbutus x 'Marina' Low Water Use	Arbutus Standard	15 gal
Cercis occidentalis Low Water Use	Western Redbud Multi-trunk	15 gal
Cupressus sempervirens Low Water Use	Italian Cypress	15 gal
Lagerstroemia indica 'Muskogee' Low Water Use	Muskogee Crtape Myrtle	15 gal
Pistacia chinensis 'Keith Davey' Low Water Use	Keith Davey Chinese Pistache	15 gal
Platanus x acerifolia 'Bloodgood' Medium Water Use	London Plane Tree	15 gal
Prunus cerasifera 'Newport' Med. Water Use	Newport Flowering Plum	15 gal
Quercus ilex Low Water Use	Holly Oak	15 gal
Sequoia sempervirens 'Aptos Blue' Medium Water Use	Aptos Blue Redwood	15 gal
Syagrus romanzoffiana Med. Water Use	Queen Palm	14-ft BT

OAK TREE MITIGATION ON-SITE



BOTANICAL NAME	COMMON NAME	CONT
Quercus douglasii Mitigation Tree	Blue Oak	15 gal
Quercus lobata Mitigation Tree	Valley Oak	15 gal

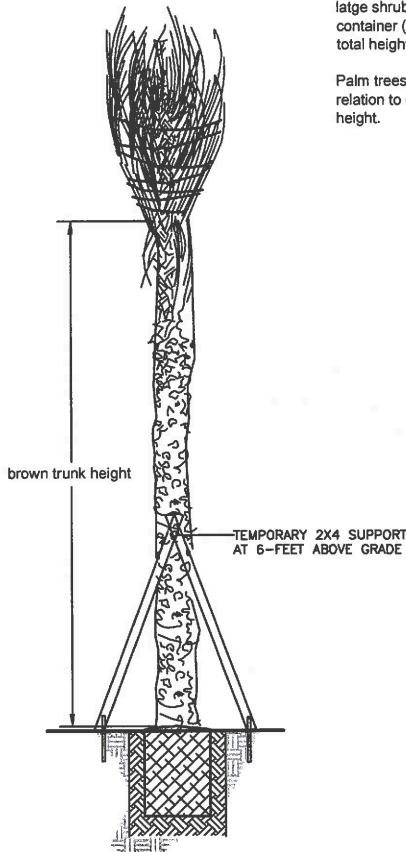
SHRUBS



BOTANICAL NAME	COMMON NAME	CONT
Azalea x 'Autumn Twist' TM Medium Water Use	Encore Azalea 'Autumn Twist'	5 gal
Berberis thunbergii 'Atropurpurea' Low Water Use	Red Leaf Japanese Barberry	5 gal
Berberis thunbergii 'Rose Glow' Low Water Use	Rosy Glow Barberry	5 gal
Callistemon citrinus 'Little John' Low Water Use	Dwarf Bottle Brush	5 gal
Carpenteria californica Low Water Use	Bush Anemone	5 gal
Ceanothus x 'Concha' Low Water Use	California Lilac	5 gal
Ceanothus x 'Joyce Coulter' Low Water Use	Ceanothus Joyce Coulter	5 gal
Cistus x purpureus Low Water Use	Orchid Rockrose	5 gal
Cistus x skanbergii Low Water Use	Coral Rockrose	5 gal
Cordylone x 'Baueri' Low Water Use	Bauer's Dracaena	5 gal
Cycas revoluta Med. Water Use	Sago Palm	5 gal
Heteromeles arbutifolia Low Water Use	Toyon	5 gal
Juniperus chinensis 'Blue Point' Low Water Use	Blue Point Juniper	5 gal
Juniperus chinensis 'Sea Green' Low Water Use	Sea Green Juniper	5 gal
Juniperus scopulorum 'Pathfinder' Low Water Use	Pathfinder Juniper	5 gal
Juniperus scopulorum 'Skyrocket' Low Water Use	Skyrocket Juniper	5 gal
Nandina domestica 'Compacta' Low Water Use	Compact Heavenly Bamboo	5 gal
Nandina domestica 'Moon Bay' TM Low Water Use	Moon Bay Nandina	5 gal
Nerium oleander 'Petite Pink' Low Water Use	Petite Pink Oleander	5 gal
Phormium tenax 'Rubrum' Low Water Use	New Zealand Flax	5 gal
Phormium tenax 'Sundowner' Low Water Use	New Zealand Flax	5 gal
Phormium tenax 'Yellow Wave' Low Water Use	New Zealand Flax	5 gal
Prunus caroliniana 'Compacta' Low Water Use	Carolina Cherry	5 gal
Rhaphiolepis indica 'Ballerina' Low Water Use	Indian Hawthorne	5 gal
Rhaphiolepis indica 'Clara' Low Water Use	Clara India Hawthorn	5 gal



Typical 15-gallon Tree Example Size



TREE SIZE NOTE AT PLANTING: The example image represent a "typical" expectation of size for trees planted from a 15-gallon container. Average branch height for single trunk tree ranges between 5' to 8', dependign upon species. Trunk caliper size is typically between 3/4" to 1". As noted in the American Standard for Nursery Stock Standards height relationship to caliper is different throughout regions of country dependign upon climate conditions. There is no defined height for any specific tree type.

Note that the Western Redbud multi-trunk species will look like a large shrub in a 15-gallon container (approximately 3'-5' tall total height).

Palm trees are specified in relation to brown trunk (BT) height.



GRASSES

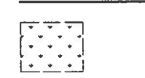
BOTANICAL NAME	COMMON NAME	CONT
Rhaphiolepis indica 'Enchantress' TM Low Water Use	Enchantress Indian Hawthorne	5 gal
Salvia greggii 'Furmans Red' Low Water Use	Furman's Red Salvia	5 gal
Salvia greggii 'Lipstick' Low Water Use	Autumn Sage	5 gal
Salvia nemorosa 'Blue Hill' Low Water Use	Woodland Sage	5 gal
Teucrium fruticos Low Water Use	Bush Germander	5 gal
Xylocoma congestum 'Compacta' Low Water Use	Compact Xylosma	5 gal
Yucca recurvifolia Low Water Use	Spineless Yucca	5 gal

PERENNIALS AND GROUND COVERS

BOTANICAL NAME	COMMON NAME	CONT
Carex divulsa Low Water use	Berkeley Sedge	1 gal
Festuca glauca 'Elijah Blue' Low Water Use	Blue Fescue	1 gal
Muhlenbergia capillaris 'Regal Mist' TM Low Water Use	Muhly	1 gal
Muhlenbergia rigens Low Water Use	Deer Grass	1 gal

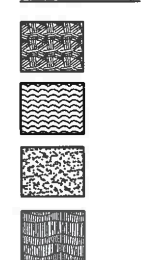
BOTANICAL NAME	COMMON NAME	CONT
Agapanthus africanus 'Peter Pan' Med. Water Use	Dwarf Blue Lily of the Nile	1 gal
Agapanthus africanus 'Queen Anne' Med. Water Use	Queen Anne Lily of the Nile	1 gal
Agapanthus praecox orientalis Med. Water Use	Lily of the Nile	1 gal
Anigozanthos flavidus 'Big Red' Low Water Use	Red Kangaroo Paw	1 gal
Anigozanthos x 'Yellow Gem' Low Water Use	Yellow Gem Kangaroo Paw	1 gal
Arctostaphylos x 'Emerald Carpet' Low Water Use	Emerald Carpet Manzanita	1 gal
Ceanothus griseus horizontalis 'Yankee Point' Low Water Use	California Lilac	1 gal
Cotoneaster dammeri Low Water Use	Bearberry Cotoneaster	1 gal
Dietes bicolor Low Water Use	Fortnight Lily	1 gal
Hemerocallis hybrid Med. Water use	Daylily ("Evergreen" Variety)	2 gal
Juniperus horizontalis 'Blue Chip' Low Water Use	Blue Chip Juniper	1 gal
Lavandula stoechas Low Water Use	Spanish Lavendar	1 gal
Mahonia repens Low Water Use	Creeping Oregon Grape	1 gal
Rosa x 'Flower Carpet Red' Low Water Use	Red Groundcover Rose	1 gal
Rosa x 'Flower Carpet Coral' Low Water Use	Flower Carpet Coral Rose	2 gal
Rosa x 'Flower Carpet White' Low Water Use	Flower Carpet Rose - White	2 gal
Trachelospermum asiaticum 'Asiatic' Medium Water Use	Asiatic Dwarf Star Jasmine	1 gal
Trachelospermum jasminoides 'Star' Medium Water Use	Star Jasmine	1 gal
Tulbaghia violacea Med. Water Use	Society Garlic	1 gal
Tulbaghia violacea 'Silver Lace' Med. Water Use	Silver Lace Society Garlic	1 gal
Verbena tenuisecta Low Water Use	Rock Verbena	1 gal

LANDSCAPE AREAS



BOTANICAL NAME	COMMON NAME	CONT
Open Space Natural Area	Undisturbed Area	1 gal minimu

GROUND COVERS



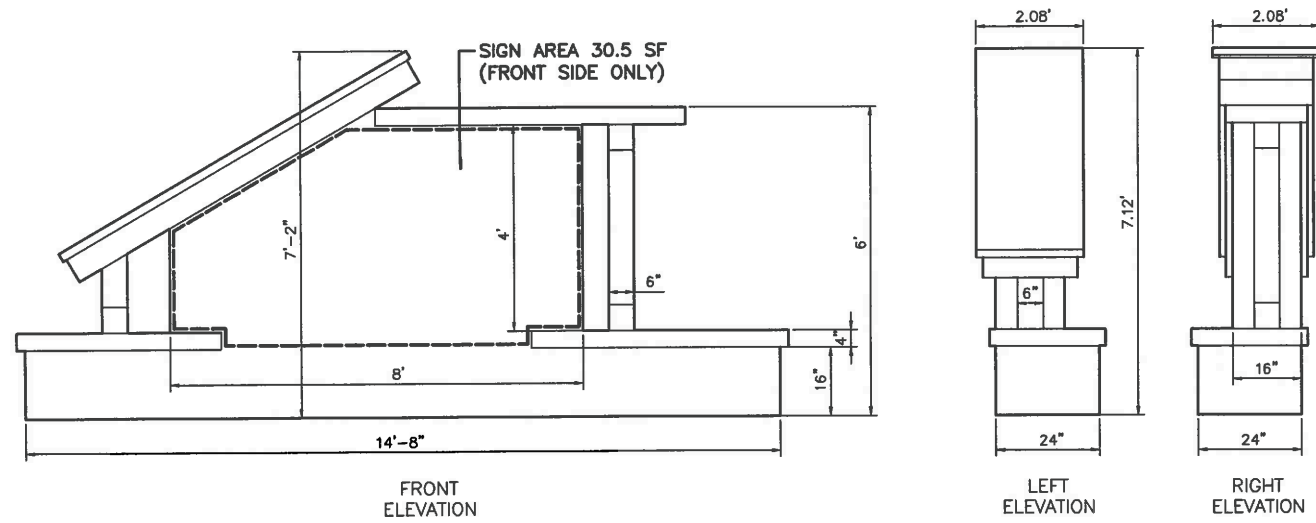
BOTANICAL NAME	COMMON NAME	CONT
Landscape Area Low and Medium Water Use	Shrub and GC Area	SF
Sod - Bio Swale Mix Low Water Use	DELTA Blue Grass Native Bio-Swale Mix	Sod
Sod x 'Bolero Plus' High Water Use	Bolero Plus Lawn Sod	Sod
Sod x 'Mow Free Native' Low Water Use	Mow Free Native Mix	Sod

PRELIMINARY PLANT SCHEDULE
SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California

EXHIBIT B



0813UP.001.dwg Sept. 5, 2014

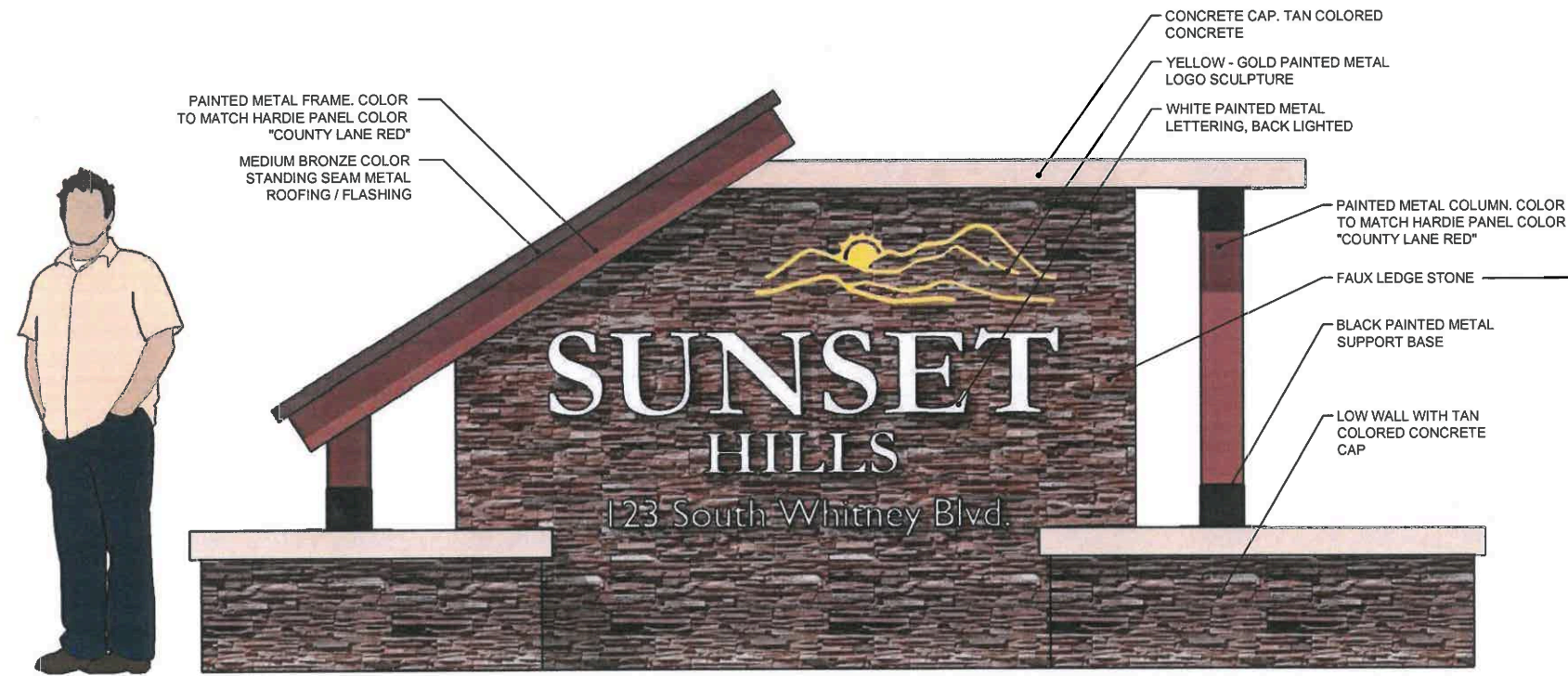


1 SUNSET HILLS TOWN HOME SIGN MONUMENT
3/4" = 1'-0"

1314-01

DIMENSIONAL ELEVATIONS

PERSPECTIVE VIEW



"CORONADO" MOUNTAIN STRIP LEDGE STONE - CHABLIS BLEND

FRONT ELEVATION ILLUSTRATIVE



PRELIMINARY PROJECT SIGN DESIGN
SUNSET HILLS TOWN HOMES, By USA Investment Associates
 Rocklin, California
 EXHIBIT B

EXHIBIT B

SD-2013-03 and TRE-2013-13

Available at the Economic and Community Development Department, Planning Division

SUNSET HILLS TOWN HOME PARKING ENFORCEMENT PLAN

September 30, 2014

Background

USA Investment Associates, has applied for, Rezoning, Tentative Subdivision Map (for Condominiums) and Design Review approval from the City of Rocklin to develop 148 townhome units in a Project known as Sunset Hills.

Chapter 17.66.020 of the Rocklin Municipal Code requires submittal of a parking enforcement plan when a proposed project includes assigned parking spaces consisting of one- or two-car garages. The developer is also required to implement the parking enforcement plan and incorporate them into the leases or covenants, conditions and restrictions. The plan shall be approved by the commission and shall include, but not be limited to, the following.

1. Adequate guarantees that the garages shall be used for the parking of automobiles;
2. Roll-up garage doors, with automatic garage door openers;
3. Garages located no more than six-feet from the driveway aisle, or no less than twenty feet from the driveway aisle if tandem parking is provided.

This document will serve as the parking enforcement plan for the Sunset Hills Project.

PARKING ENFORCEMENT PLAN

1. Project Design

The project design incorporates several features to address parking issues

- Adequate parking has been provided pursuant to the City's parking requirements for townhomes
- Each dwelling unit has been provided with a minimum of two enclosed garage spaces.
- Each garage will have a roll-up garage door, with automatic garage door opener.
- Driveways are generally within 6 feet from the drive aisle to ensure that tenants will not park in the drive aisles or driveways.

2. Enforcement

Leases and future CC&R's will include a requirement that all residents a required to park inside the garages. Violations will be subject to a warning, followed by a fine.