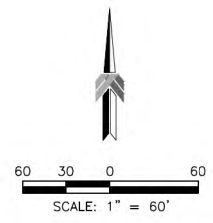
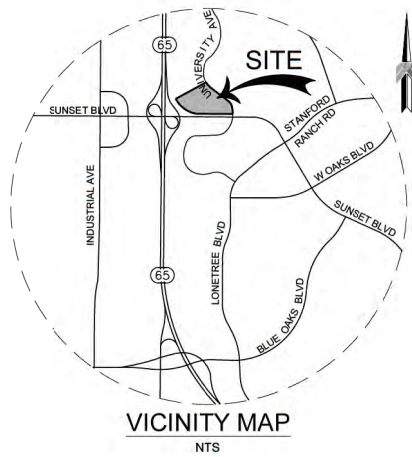


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COVER SHEET

PRELIMINARY SITE PLAN



ESTIA AT ROCKLIN
Rocklin, California

MAY 2022 | SR210296.00

SITE INFORMATION

- 181 TOTAL DWELLING UNITS - 20.0 AC
- 40% 1 BEDROOM (74 Du's)
- 60% 2 BEDROOM (107 Du's)
- GROSS DENSITY - 9.3 Du/AC

RESIDENTIAL COMMUNITY FEATURES

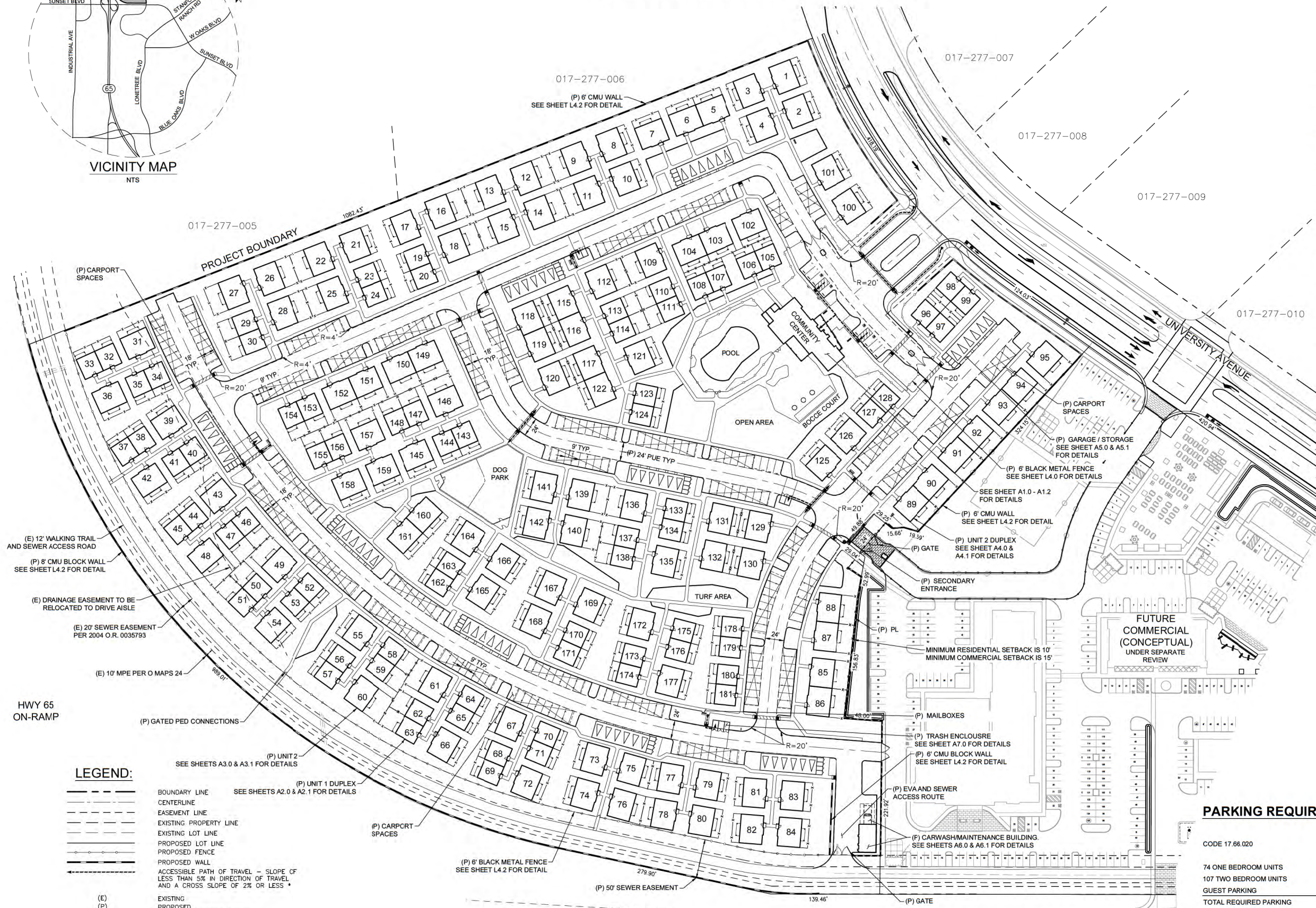
- COMMUNITY GATED FOR SECURITY
- CENTRAL CLUBHOUSE WITH PROSPECTIVE TENANT PARKING
- COMMUNITY RECREATION CENTER WITH POOL COMPLEX
- ABUNDANT OPEN SPACE WITH POCKETS
- MAINTENANCE / CAR WASHING AREA / FACILITIES
- DOG WALKING AREAS

ASSESSOR'S PARCEL NUMBER

- APN: 017-276-007 PLACER COUNTY

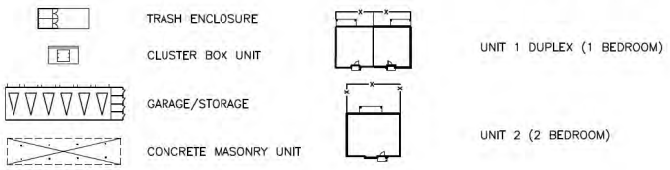
NOTES

- SEE PRELIMINARY GRADING & DRAINAGE PLAN AND TENTATIVE PARCEL MAP FOR ADDITIONAL INFORMATION NOT SHOWN HEREON.
- FOR CROSS SECTIONS AND WALL DETAILS, PLEASE SEE SHEET C3.0 & C4.0.
- FOR COMMON AREA AMENITIES AND FACILITIES, SEE SHEET L3.0.



LEGEND:

- BOUNDARY LINE
- CENTERLINE
- EASEMENT LINE
- EXISTING PROPERTY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- PROPOSED FENCE
- PROPOSED WALL
- ACCESSIBLE PATH OF TRAVEL - SLOPE OF LESS THAN 5% IN DIRECTION OF TRAVEL AND A CROSS SLOPE OF 2% OR LESS *
- (E) EXISTING
- (P) PROPOSED
- EVA EMERGENCY VEHICLE ACCESS
- PL PROPERTY LINE
- PUE PUBLIC UTILITY EASEMENT
- CMU CONCRETE MASONRY UNIT



* INTERIOR WALKWAYS SHALL HAVE A SLOPE OF LESS THAN 5% IN DIRECTION OF TRAVEL AND A CROSS SLOPE OF 2% OR LESS. ALL CURB RAMPS AT INTERIOR ALLEYS SHALL COMPLY WITH 2019 CBC 11B-406.

PARKING REQUIREMENTS

CODE 17.66.020	REQUIRED RATIO PER 17.66.020(A)	UNITS REQUIRED	PROVIDED PARKING
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TOTAL PARKING PROVIDED			393
ADA PARKING			4
COVERED PARKING			277
GARAGE SPACES*			54
LEVEL 3 CHARGING STATIONS			3

*ALL GARAGE LOCATIONS WILL BE LEVEL 2 EV CHARGING CAPABLE

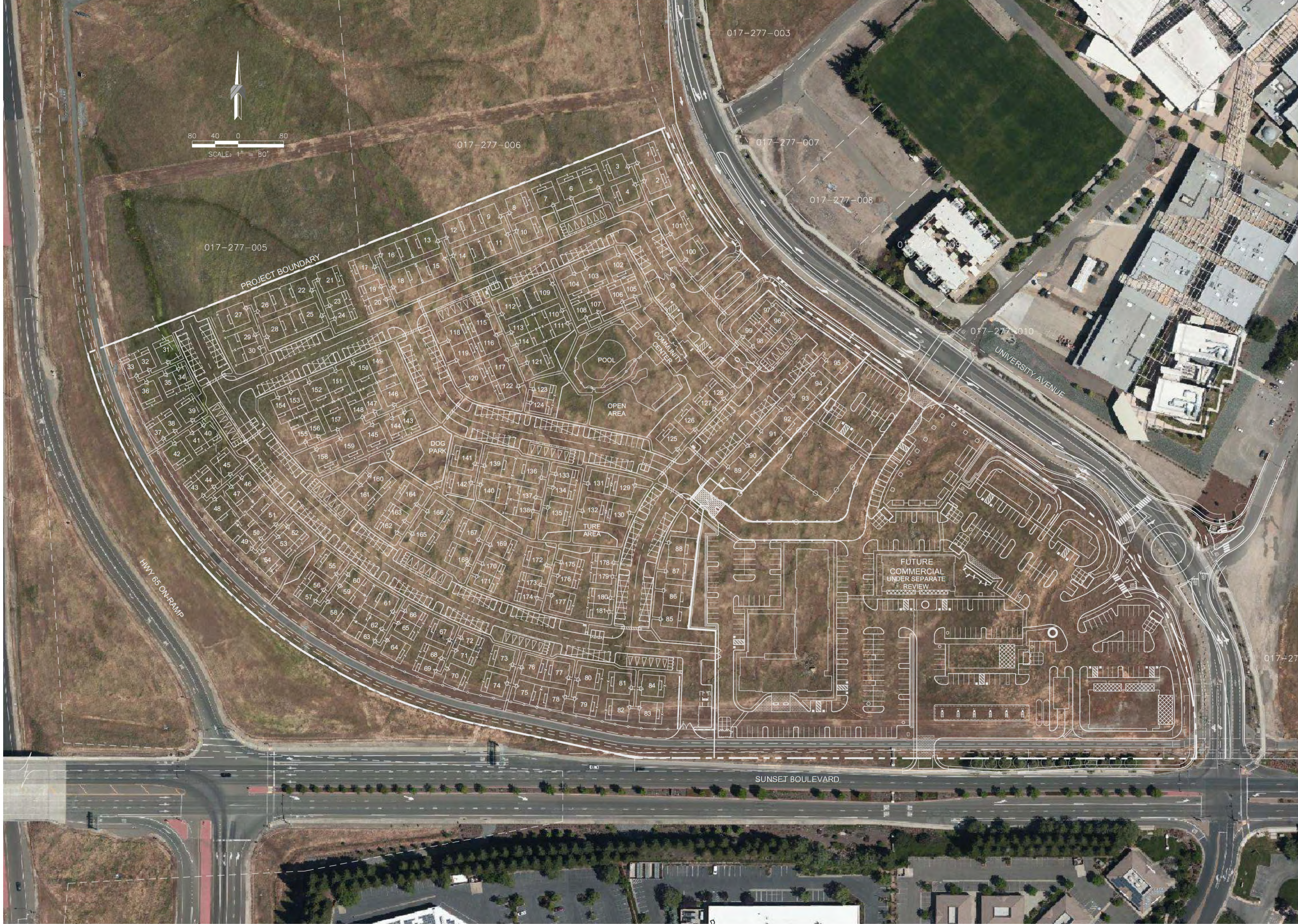
A0.2



Civil: Landscape:
Homes by Towne
Rancho Cordova, California

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2021 BSB Design, Inc.

PHOTO EXHIBIT



A0.3

Homes by Towne
 Rancho Cordova, California

Roach & Campbell
 Landscape:

KING
 ENGINEERING
 Civil:

ESTIA AT ROCKLIN
 Rocklin, California

BSD
 DESIGN
 BSBDESIGN.COM

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MAY 2022 | SR210296.00

ESTIA AT ROCKLIN
Rocklin, CA

May 12, 2022 | SR210296.00



UNIT COLOR SCHEME SITE MAP

LEGEND
- COLOR PALETTE
□ - ACCENT COLOR

	B	C	D
DRIFTWOOD	CHARCOAL GREY	HARVARD SLATE	HEATHERWOOD
ACCENT 1	ACCENT 2	ACCENT 1	ACCENT 1
RUBY SLIPPER	MALLARD LAKE	WATER CH.	THAI BASIL
VOYSEY GRAY	WINTER SUNSET	THE BLARNEY STONE	SECRET PASSAGEWAY
STOCKING WHITE	GREY WHITE	OYSTER HAZE	GRAY SPELL
SWISS COFFEE	HOT MY FAULT	PEARLY WHITE	WHITEST WHITE
RUBY SLIPPERS	HOT MY FAULT	PEARLY WHITE	SECRET PASSAGEWAY
COLOR PALETTE 1	COLOR PALETTE 2	COLOR PALETTE 3	COLOR PALETTE 4

***Scheme 2 has two individual accent options

PRELIMINARY LIGHTING PLAN



ESTIA AT ROCKLIN
Rocklin, California

MAY 2022 | SR210296.00



Civil:



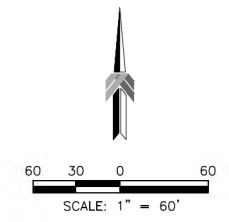
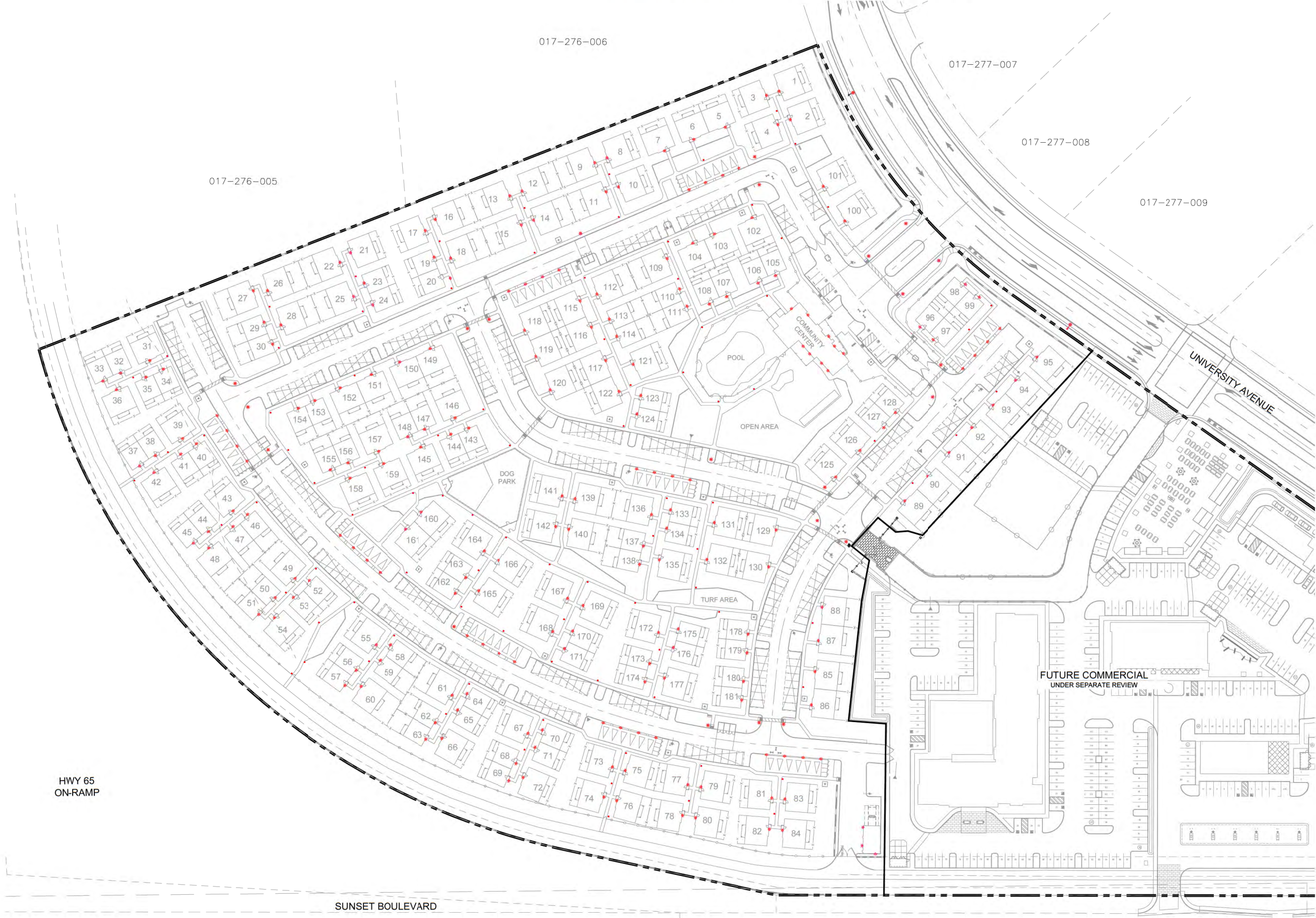
Landscape:



Rancho Cordova, California

- LEGEND**
- ✱ ALLEY POLE LIGHT
 - BOLLARD LIGHT
 - ✱ BUILDING MOUNTED LIGHT

- NOTES**
- SEE SHEET A9.0 FOR BUILDING MOUNTED LIGHT AND CARPORT LIGHT DETAILS.
 - SEE SHEET C3.0 FOR BOLLARD LIGHTING DETAIL AND ALLEY POLE LIGHTING DETAIL.



FUTURE COMMERCIAL
UNDER SEPARATE REVIEW

HWY 65
ON-RAMP

SUNSET BOULEVARD

A0.5

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2021 BSB Design, Inc.



STREET VIEW WITH CARPORTS



STREET VIEW WITH GARAGES



MAIN ENTRY

PROJECT ILLUSTRATIONS



LEFT ELEVATION
Scale: 1/8" = 1'-0"



REAR ELEVATION
Scale: 1/8" = 1'-0"



RIGHT ELEVATION
Scale: 1/8" = 1'-0"



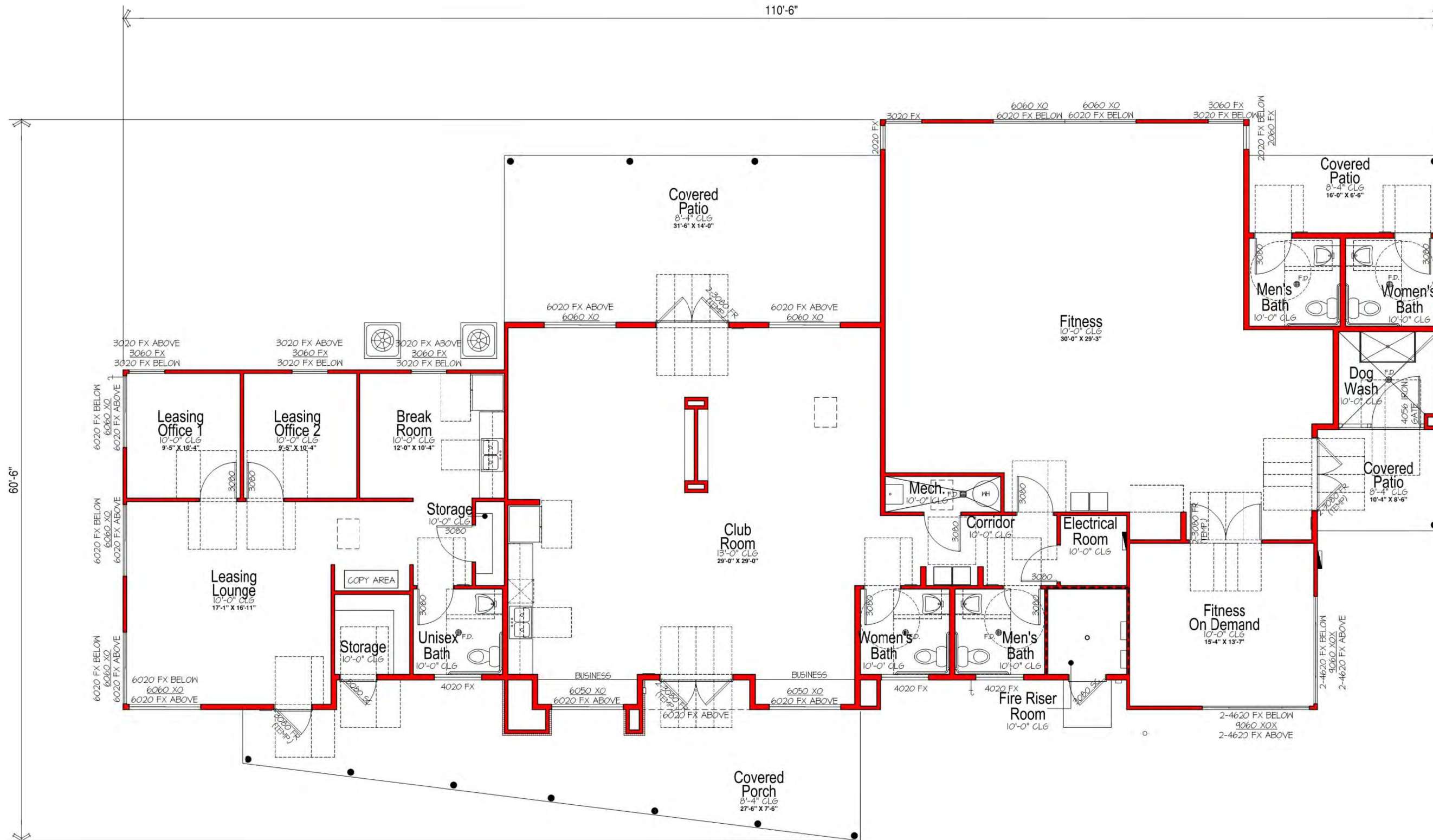
FRONT ELEVATION
Scale = 1/4" = 1'-0"

COMMUNITY CENTER

ESTIA AT ROCKLIN
Rocklin, CA

May 11, 2022 | SR210296.00

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2022 BSB Design, Inc.



Floor Plan
0 2 4 6 10
Scale = 1/4" = 1'-0"

Community Center - 3,617 sf

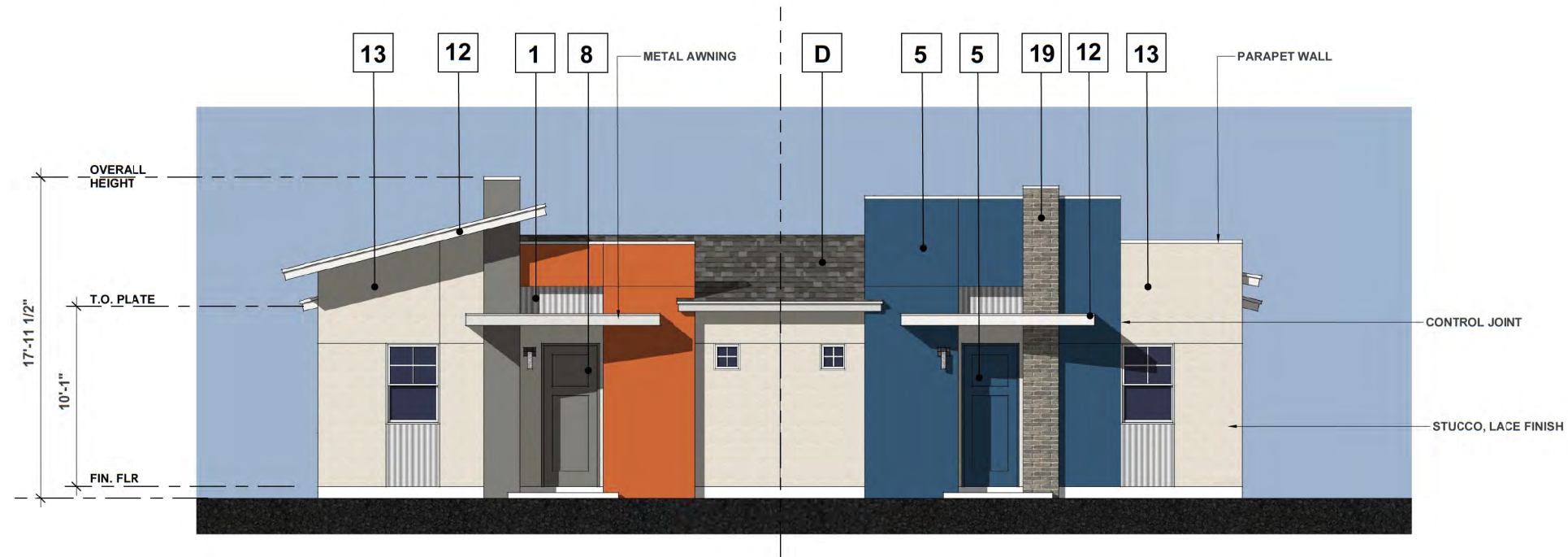
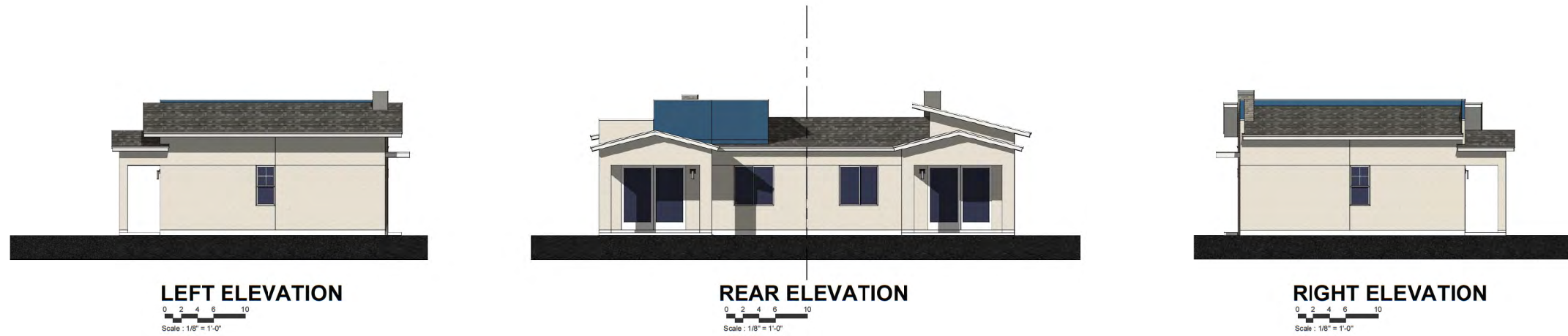


VIGNETTE 2



VIGNETTE 1

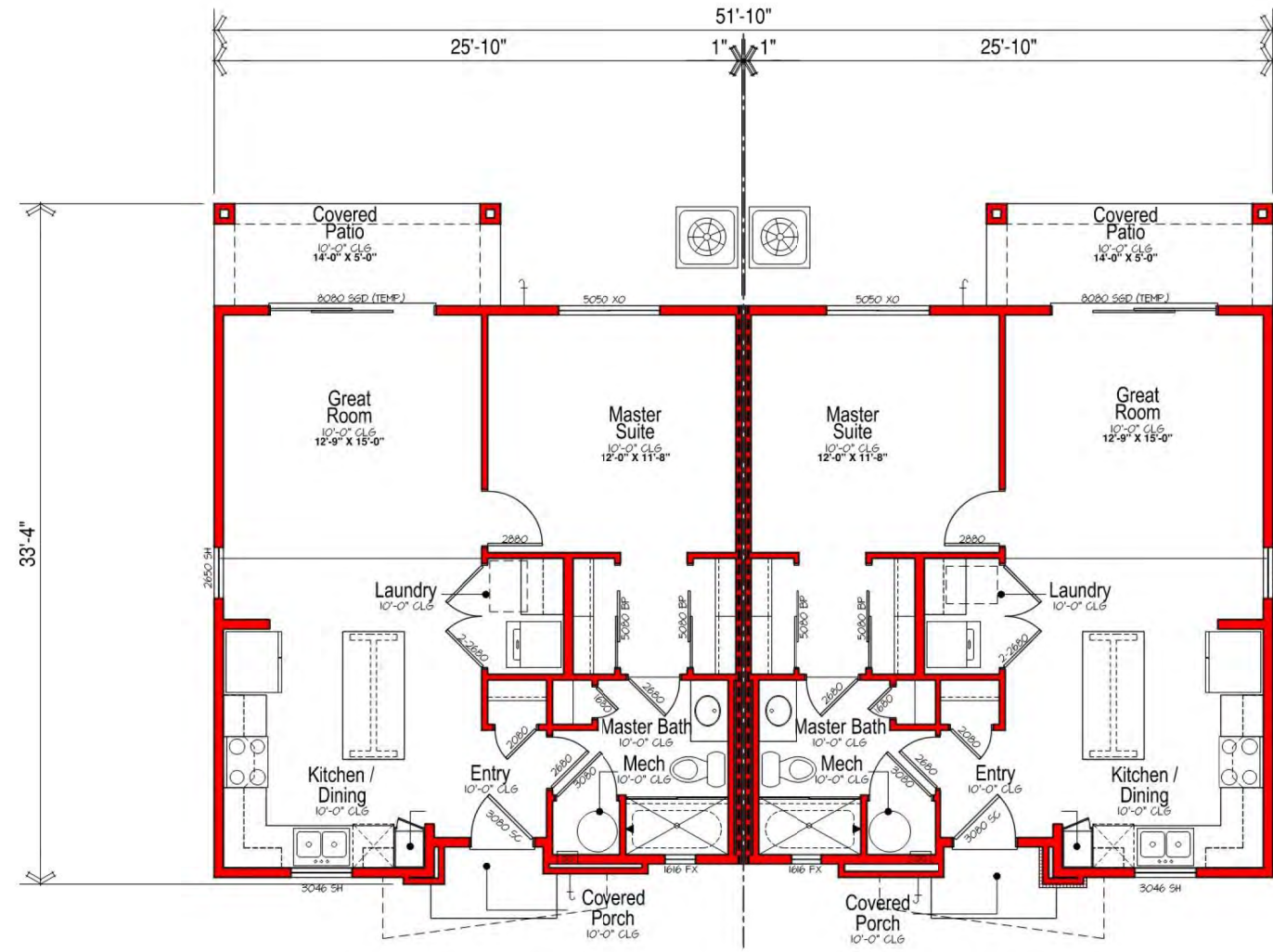
CLUBHOUSE PERSPECTIVES



FRONT ELEVATION
Scale = 1/4" = 1'-0"
UNIT 1 DUPLEX

ESTIA AT ROCKLIN
Rocklin, CA

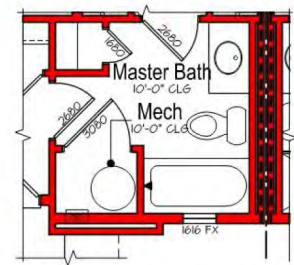
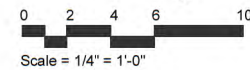
May 10, 2022 | SR210296.00



Unit 1 Reversed
709 sf

Unit 1
709 sf

Unit 1 (One Bedroom) Duplex - 1,418 sf



Opt. Tub I.L.O Shower @ Master Bath
Partial Floor Plan - Reversed

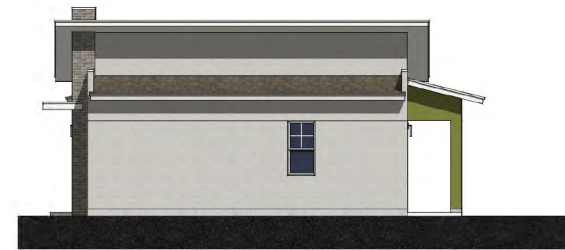
SCALE: 1/4"=1'-0" (22x34) 1/8"=1'-0" (11x17)



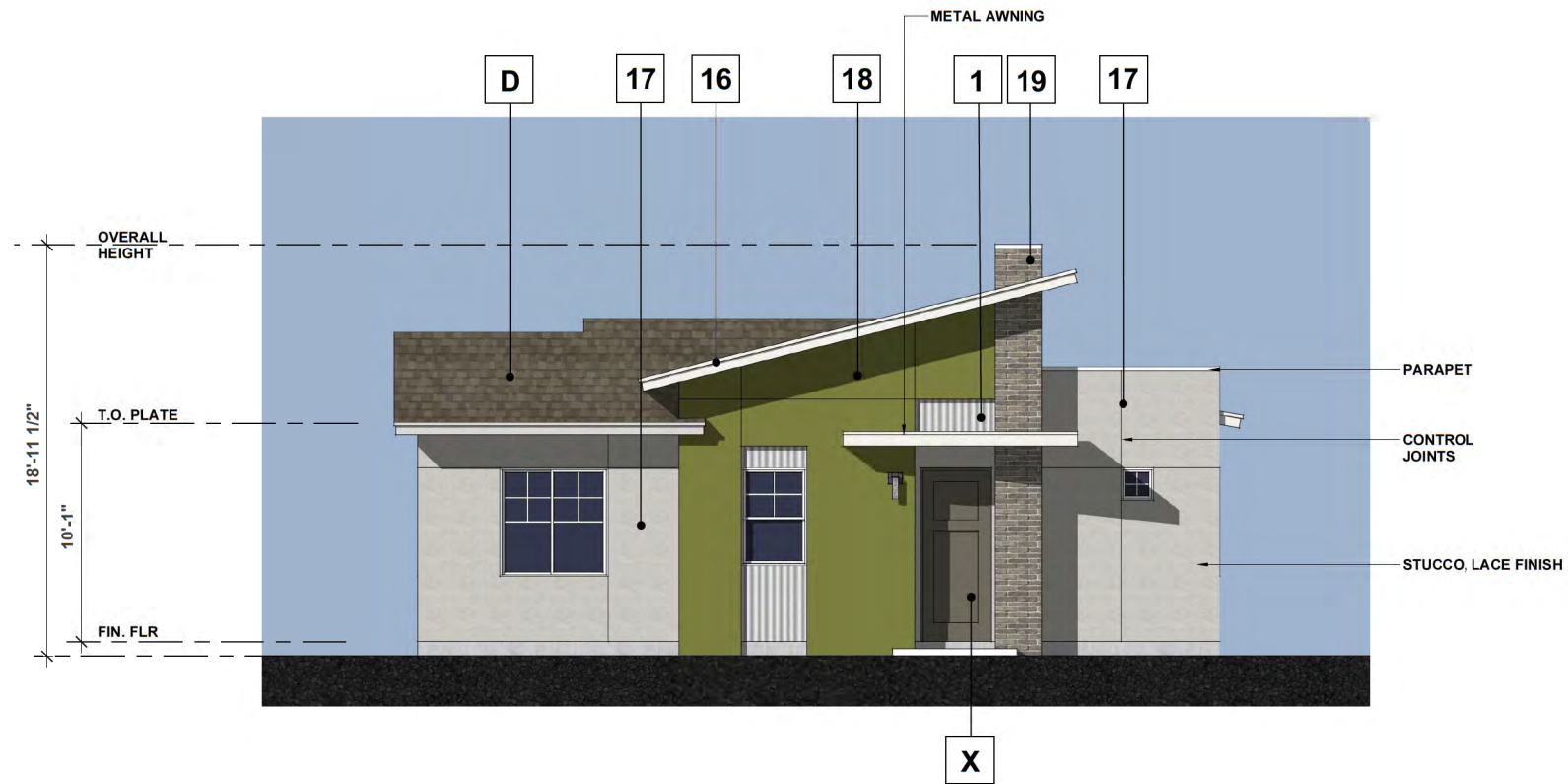
LEFT ELEVATION
0 2 4 6 10
Scale: 1/8" = 1'-0"



REAR ELEVATION
0 2 4 6 10
Scale: 1/8" = 1'-0"

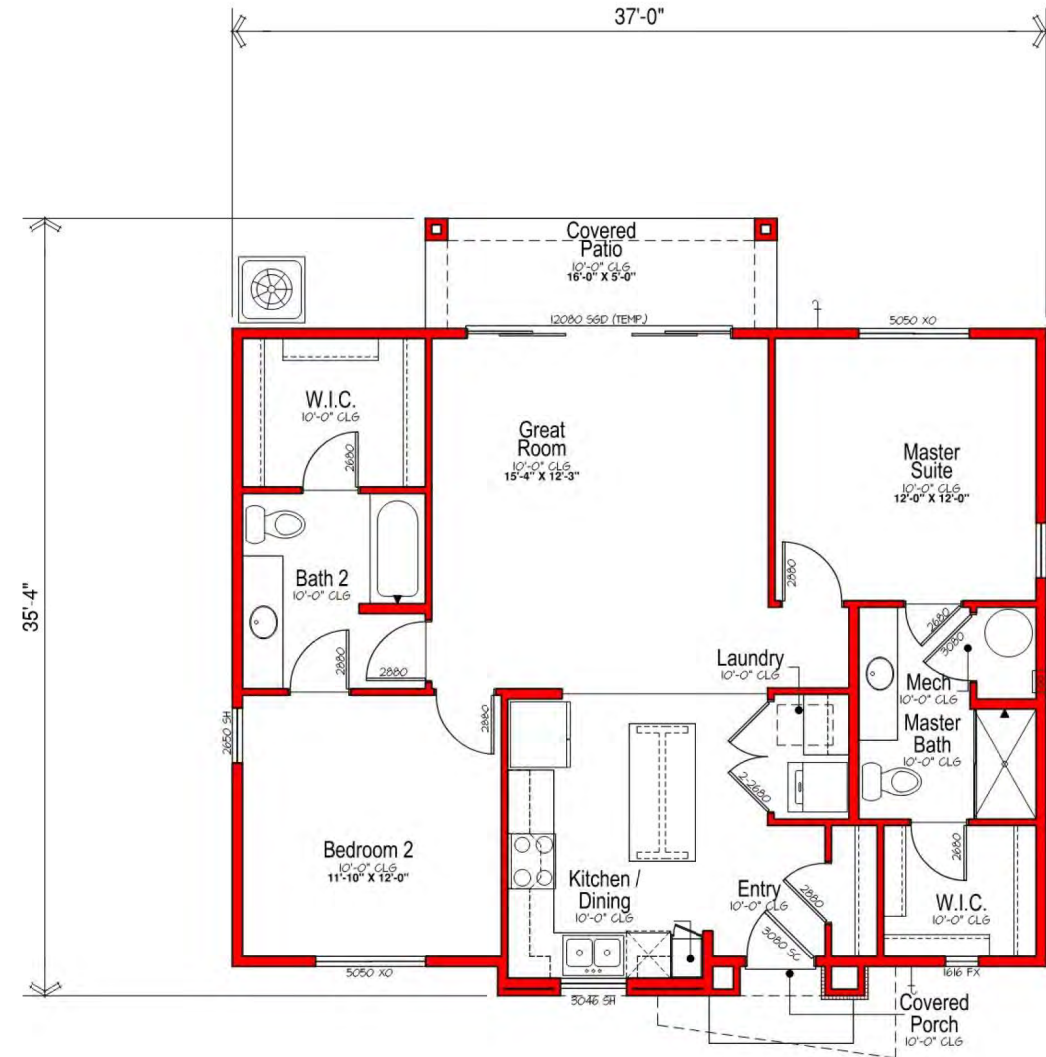


RIGHT ELEVATION
0 2 4 6 10
Scale: 1/8" = 1'-0"



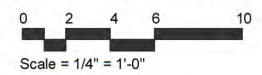
FRONT ELEVATION
0 2 4 6 10
Scale = 1/4" = 1'-0"

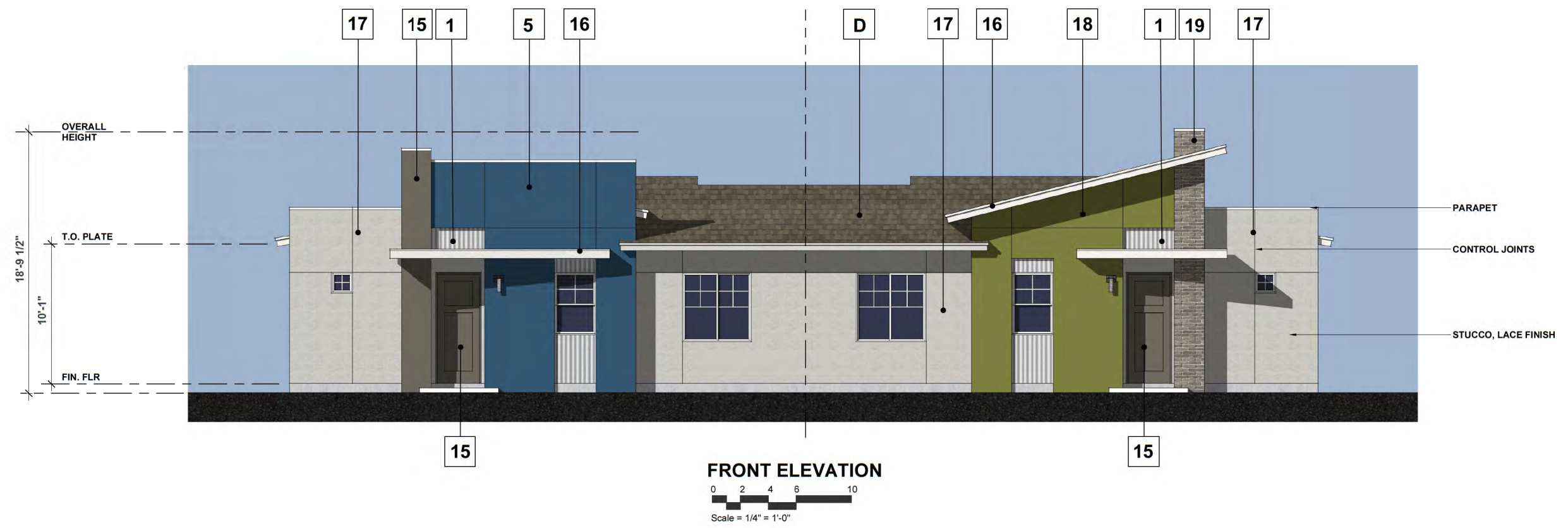
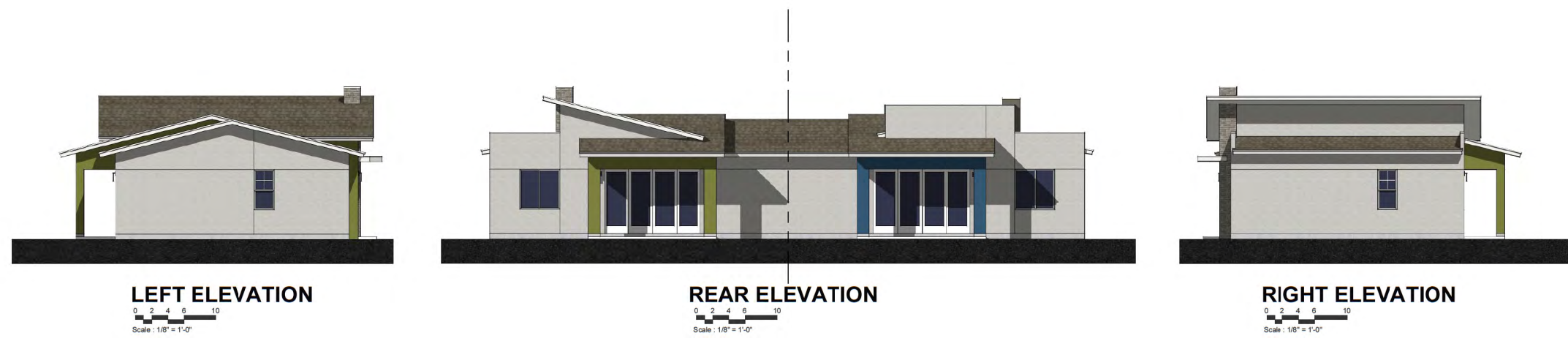
UNIT 2



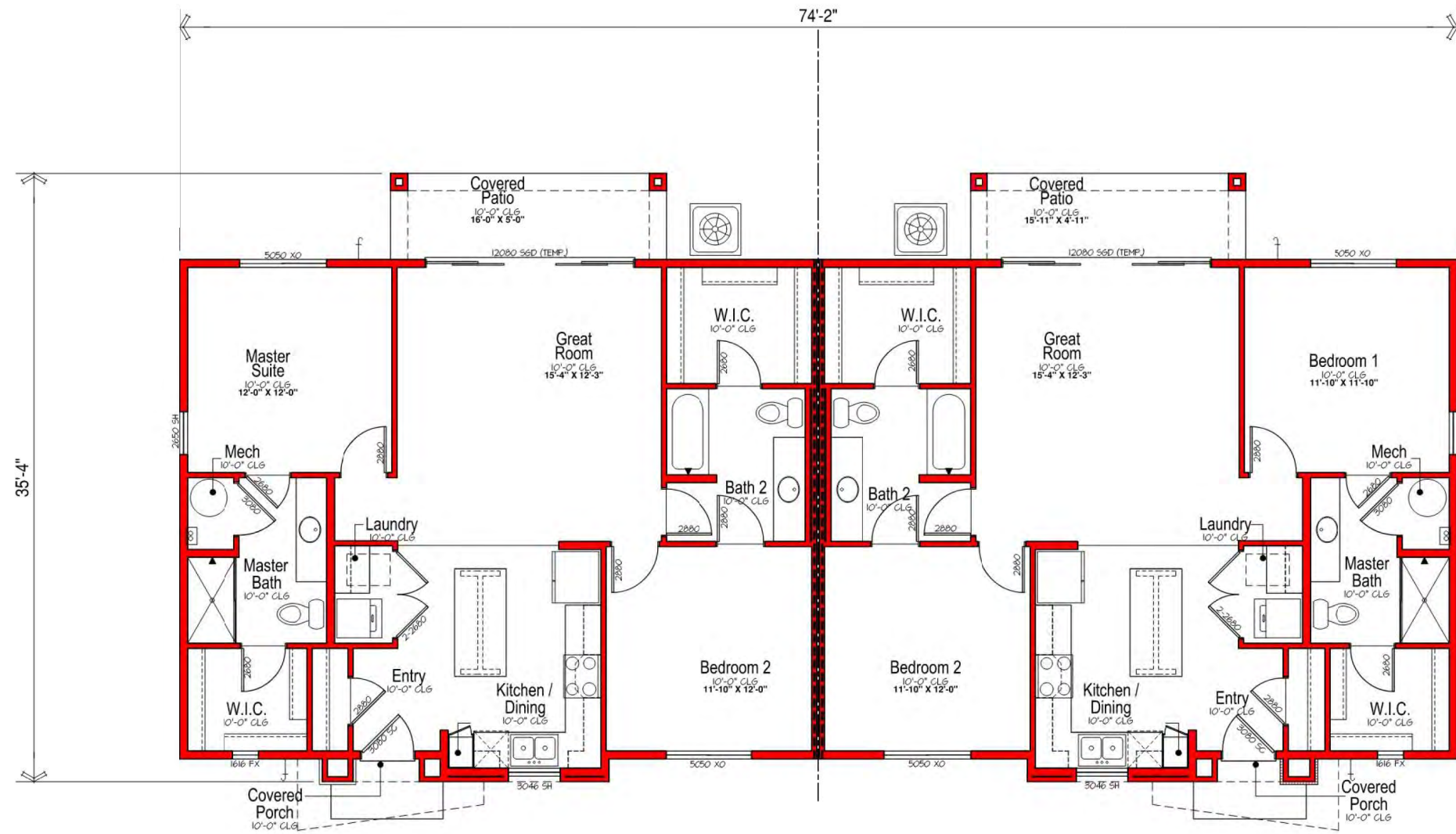
Floor Plan

Unit 2 (2 Bedroom) Single - 1090 sf





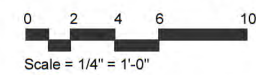
UNIT 2 DUPLEX

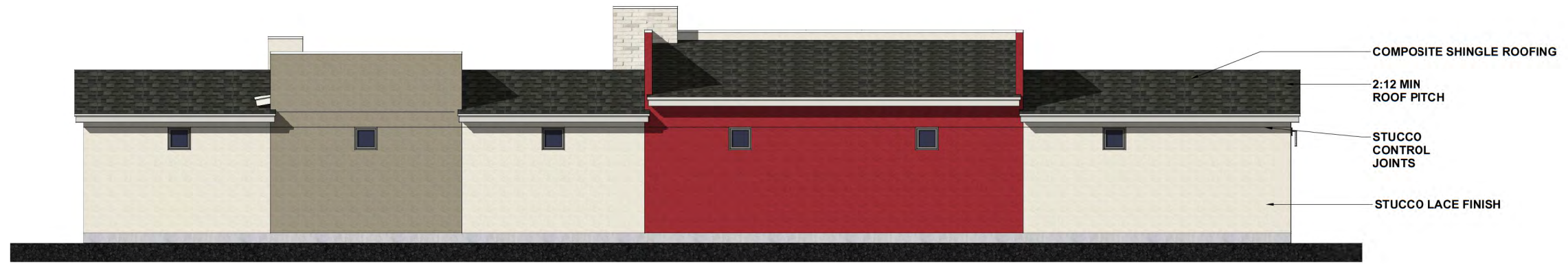


Unit 2 Reversed
1090 sf

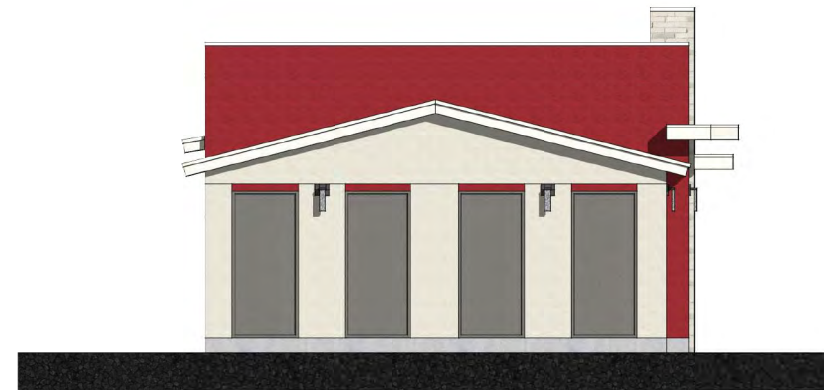
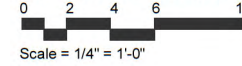
Unit 2
1090 sf

Unit 2 (Two Bedroom) Duplex - 2,180 sf

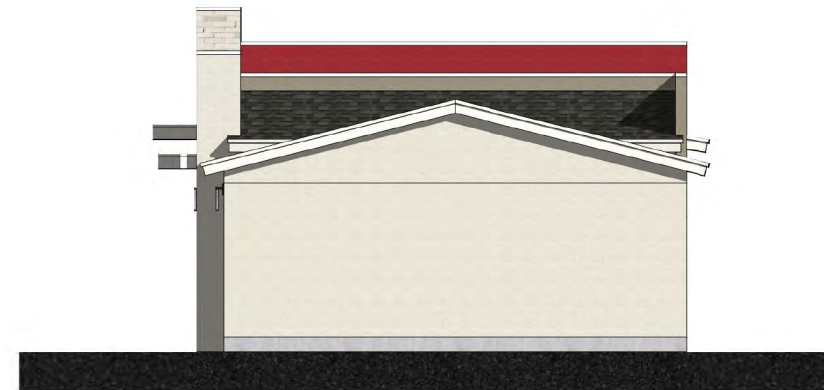
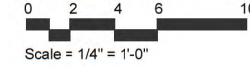




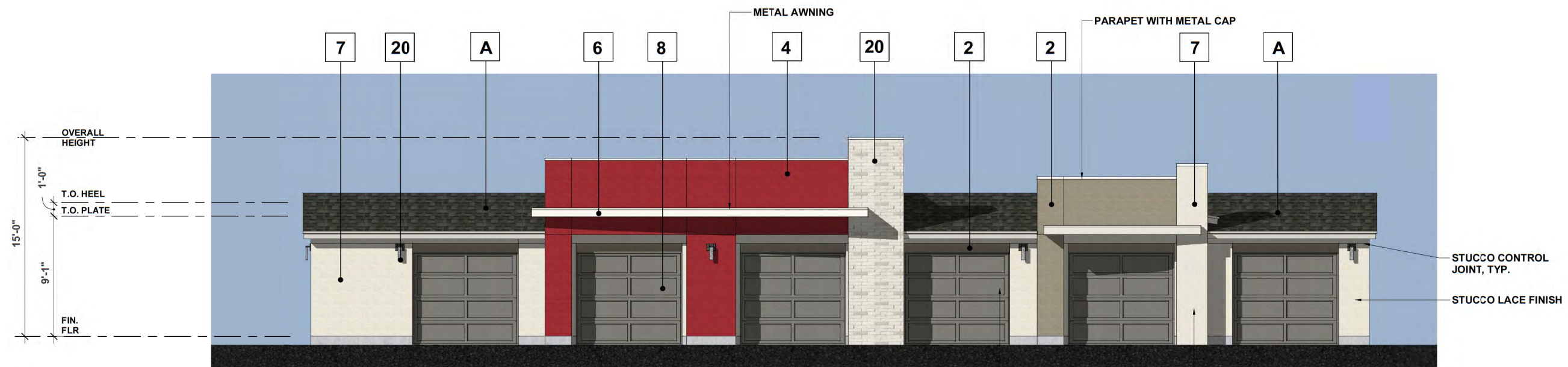
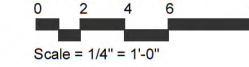
REAR ELEVATION



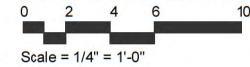
LEFT ELEVATION



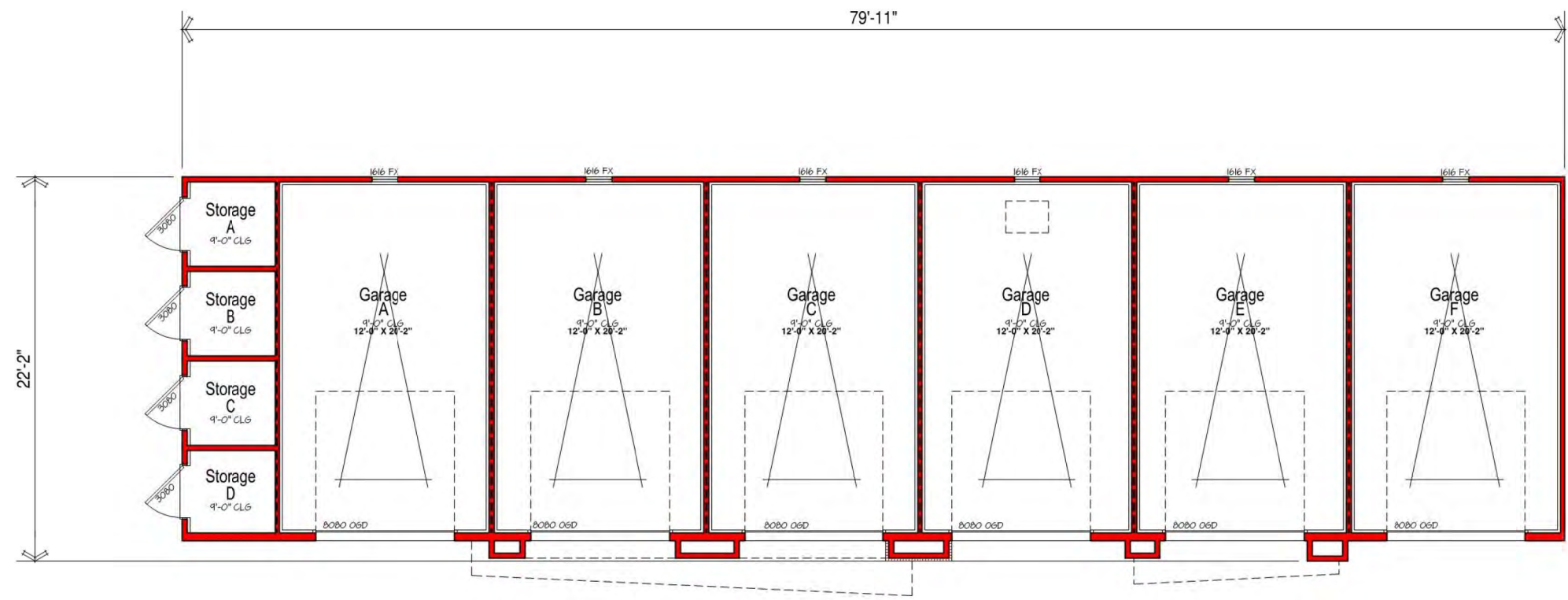
RIGHT ELEVATION



FRONT ELEVATION



GARAGE WITH STORAGE



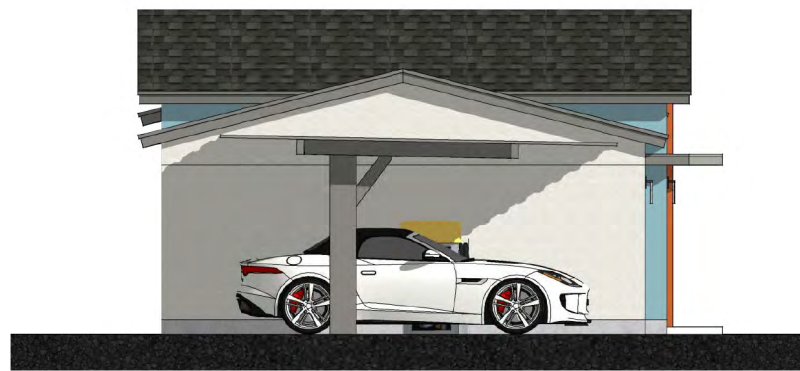
Floor Plan
0 2 4 6 10
Scale = 1/4" = 1'-0"

Garage / Storage - 1573 sf



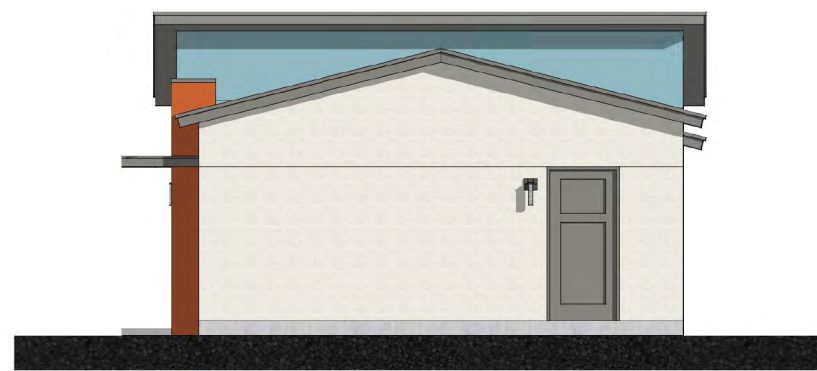
REAR ELEVATION

0 2 4 6 10
Scale: 1/8" = 1'-0"



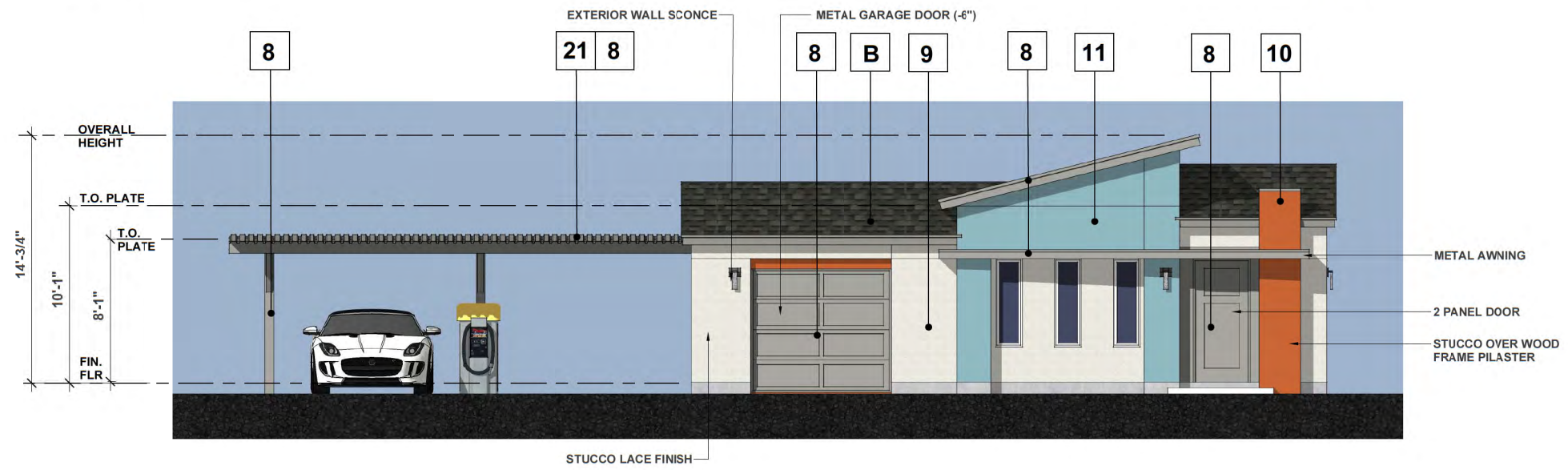
LEFT ELEVATION

0 2 4 6 10
Scale: 1/8" = 1'-0"



RIGHT ELEVATION

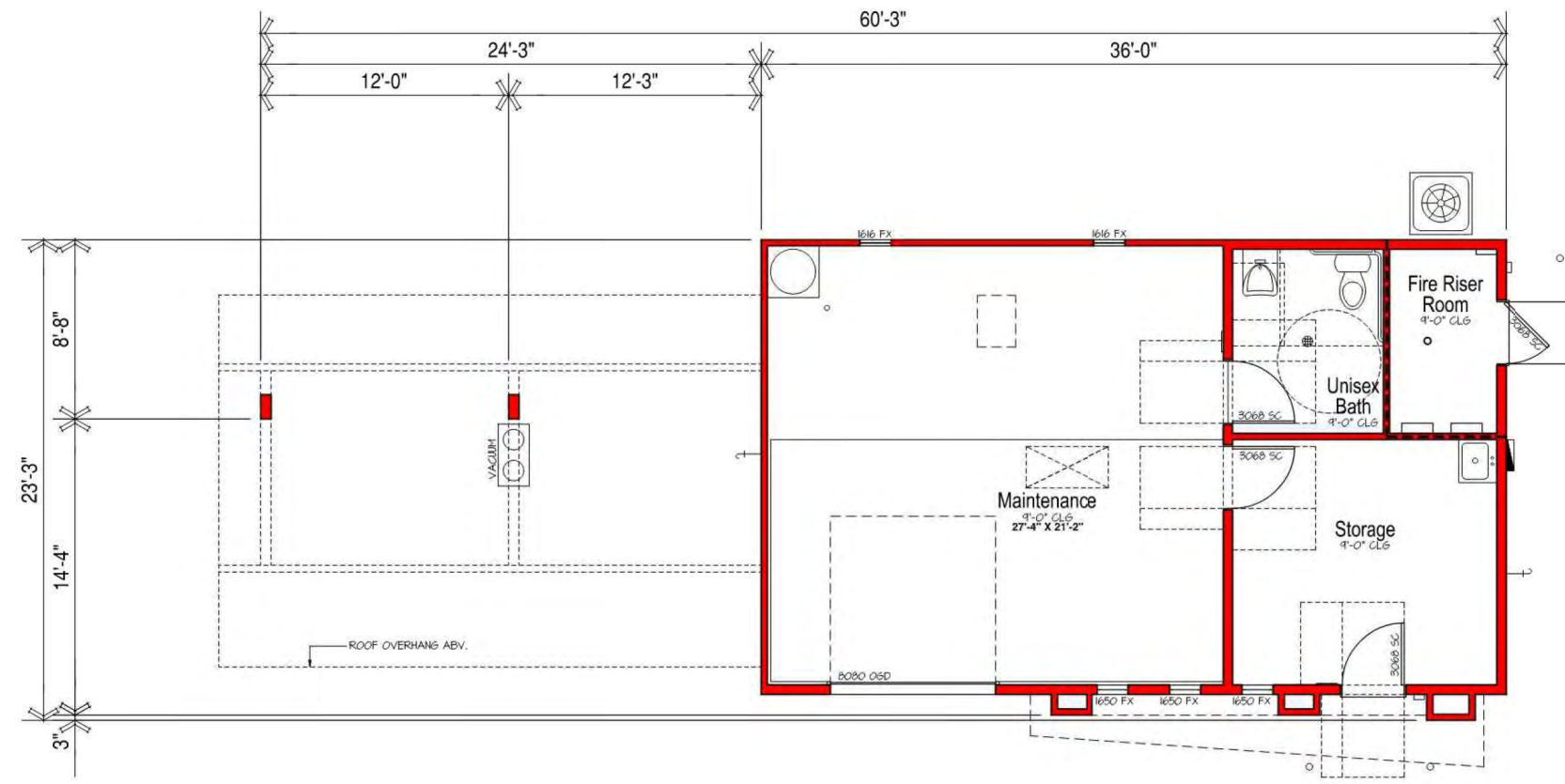
0 2 4 6 10
Scale: 1/8" = 1'-0"



FRONT ELEVATION

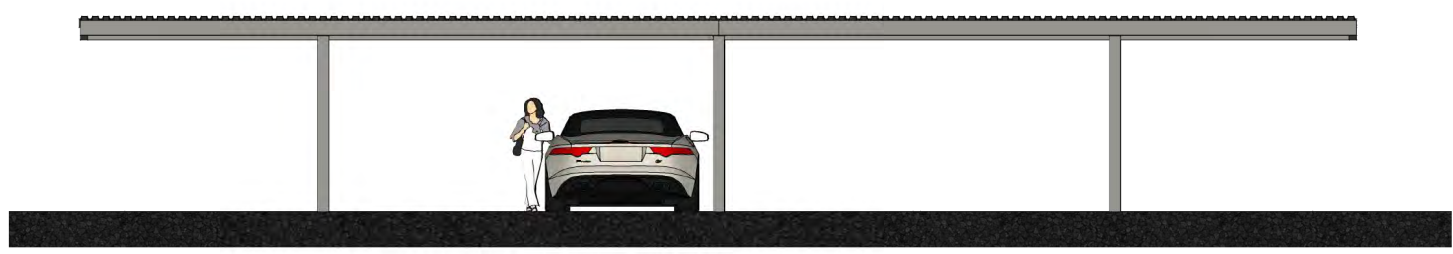
0 2 4 6 10
Scale = 1/4" = 1'-0"

MAINTENANCE BUILDING

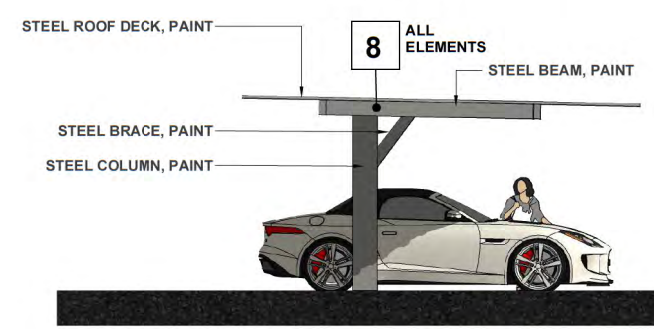
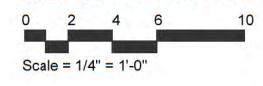


Floor Plan
798 sf
Maintenance - 798 sf

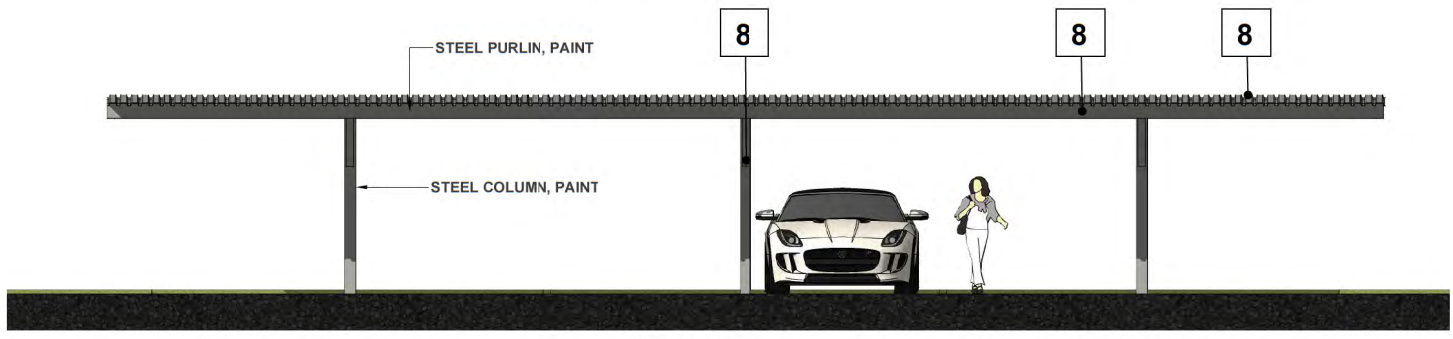
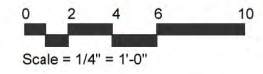
0 2 4 6 10
Scale = 1/4" = 1'-0"



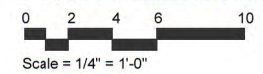
REAR ELEVATION



TYP. SIDE ELEVATION

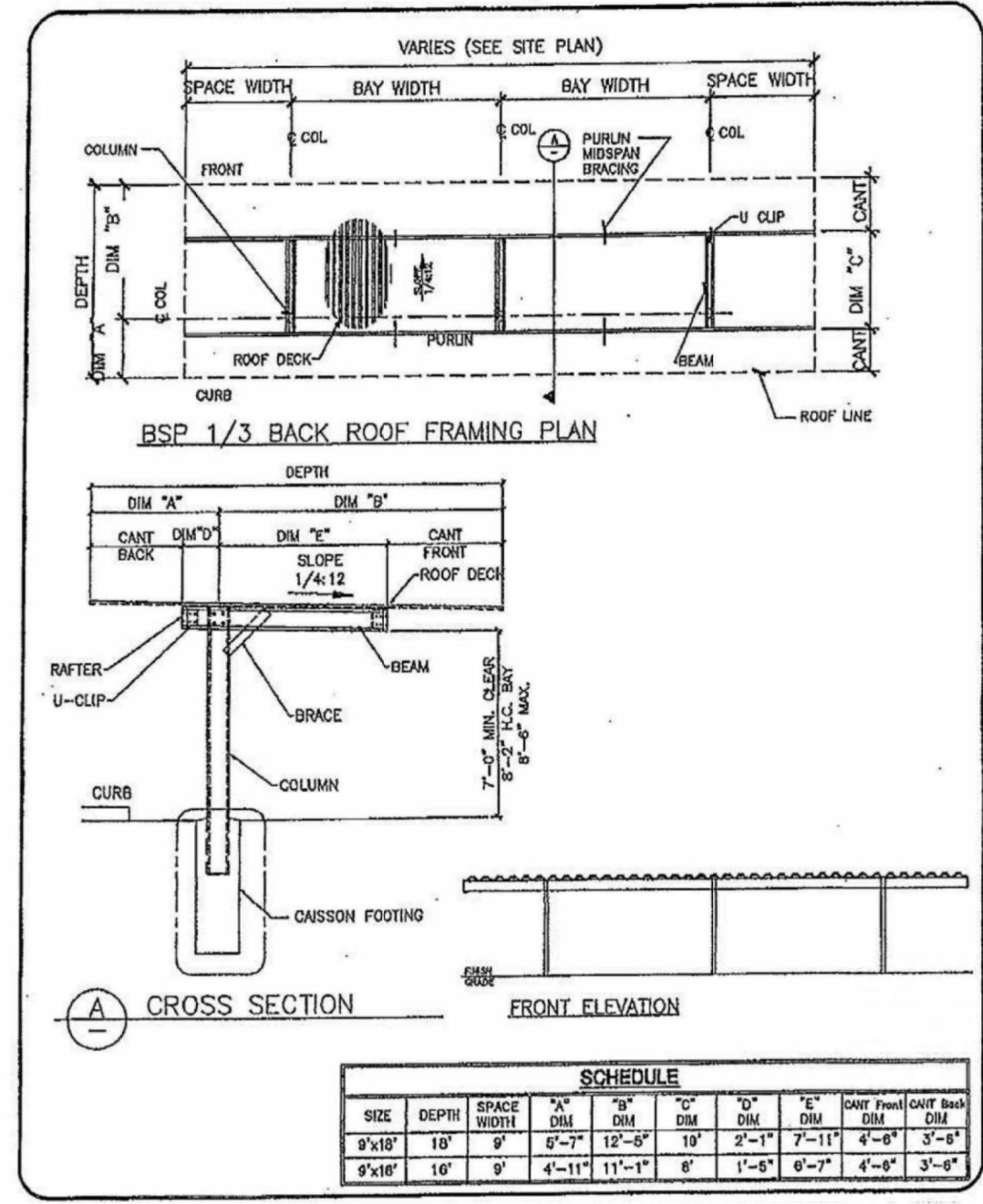


FRONT ELEVATION

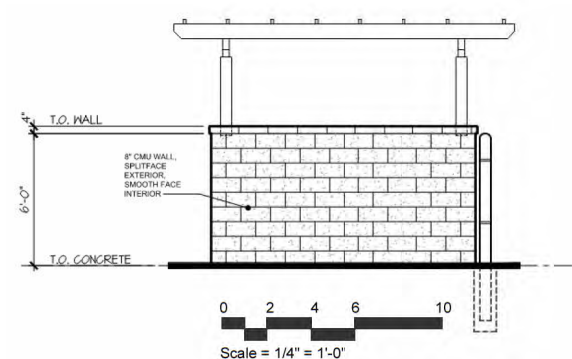


PERSPECTIVE

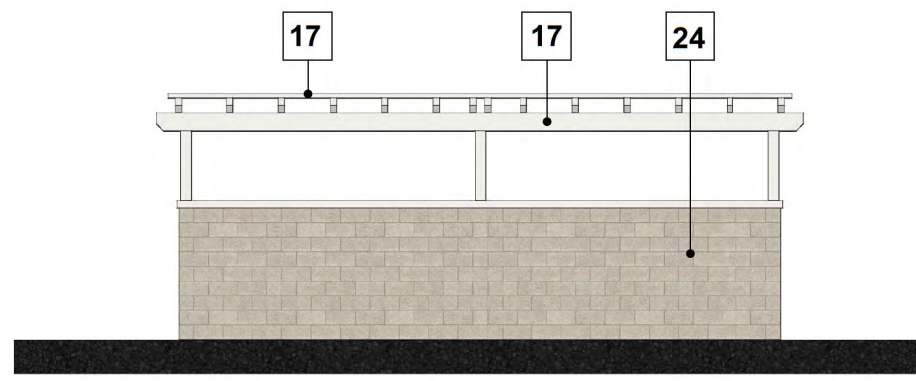
TYPICAL CARPORT



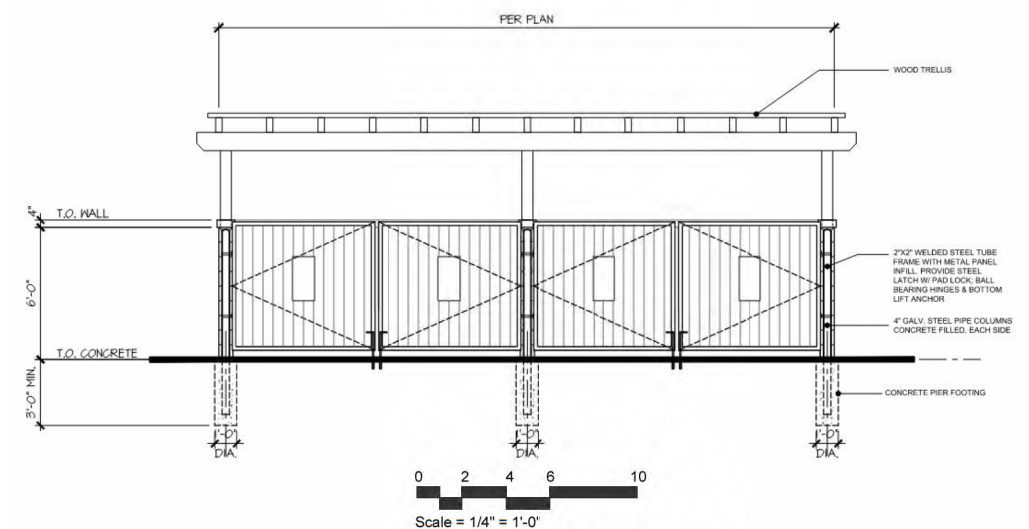
SCHEDULE									
SIZE	DEPTH	SPACE WIDTH	"A" DIM	"B" DIM	"C" DIM	"D" DIM	"E" DIM	CANT Front DIM	CANT Back DIM
9'x18'	18'	9'	6'-7"	12'-5"	10'	2'-1"	7'-11"	4'-6"	3'-5"
9'x16'	16'	9'	4'-11"	11'-1"	8'	1'-5"	6'-7"	4'-6"	3'-6"



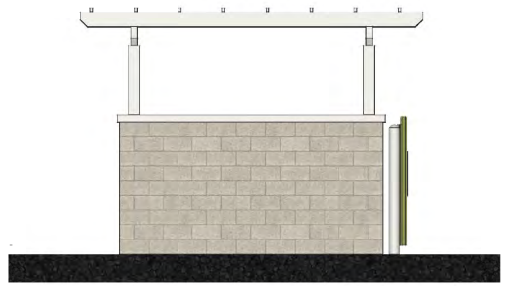
Side Elevation - 2



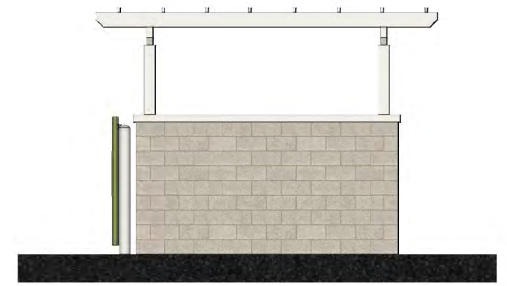
REAR ELEVATION



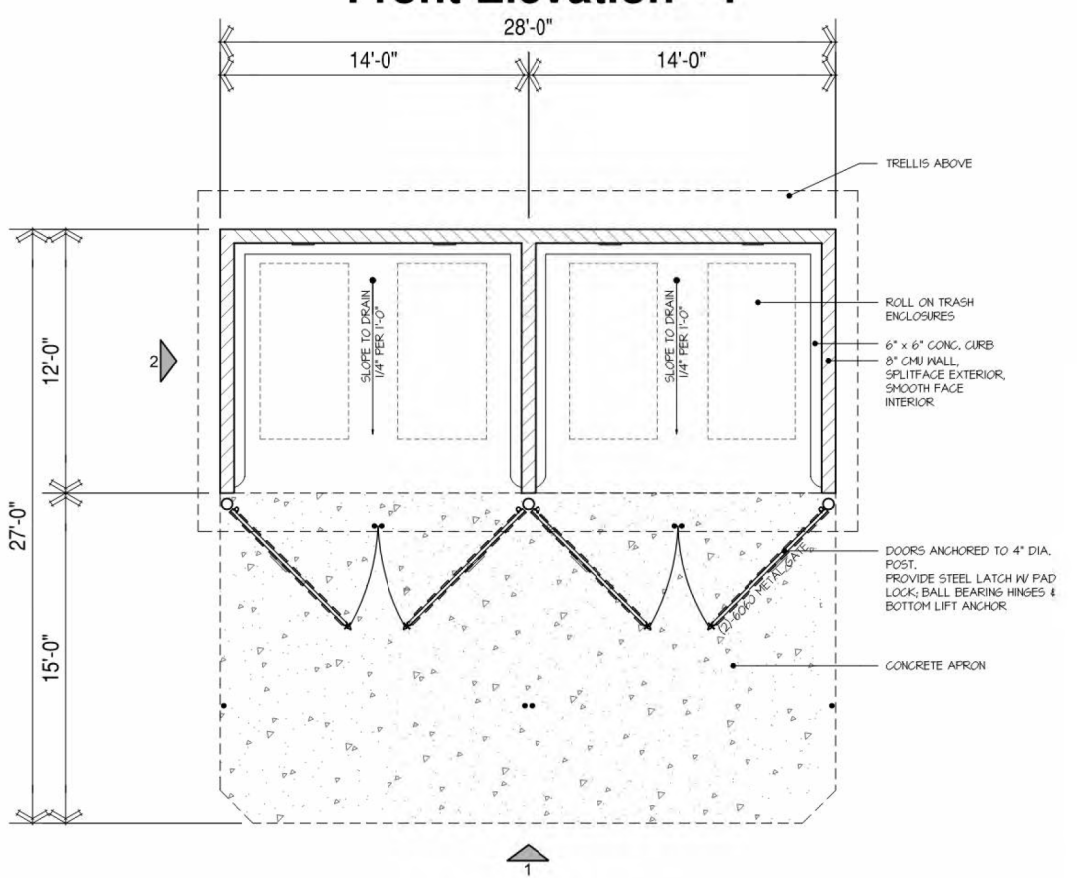
Front Elevation - 1



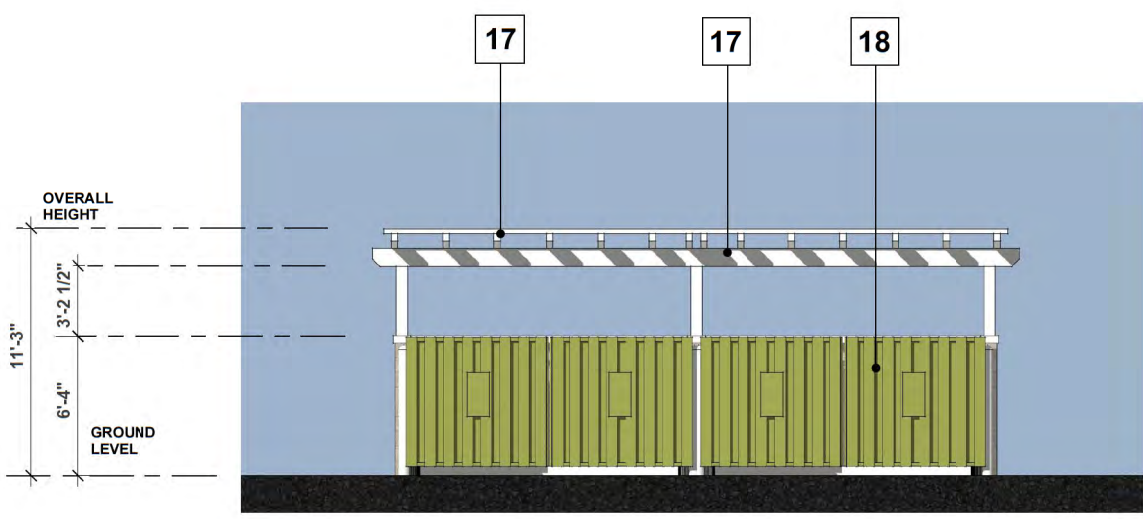
LEFT ELEVATION



RIGHT ELEVATION



Floor Plan



FRONT ELEVATION

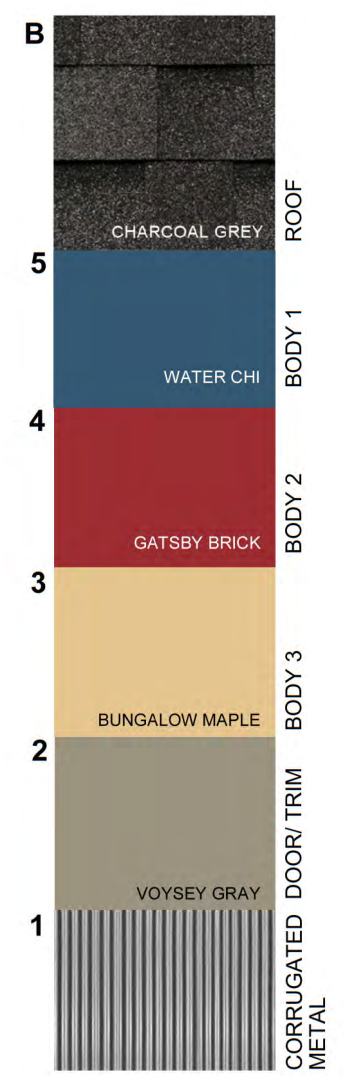
TRASH ENCLOSURE

Scale = 1/4" = 1'-0"

Scale = 1/4" = 1'-0"

NOTES:

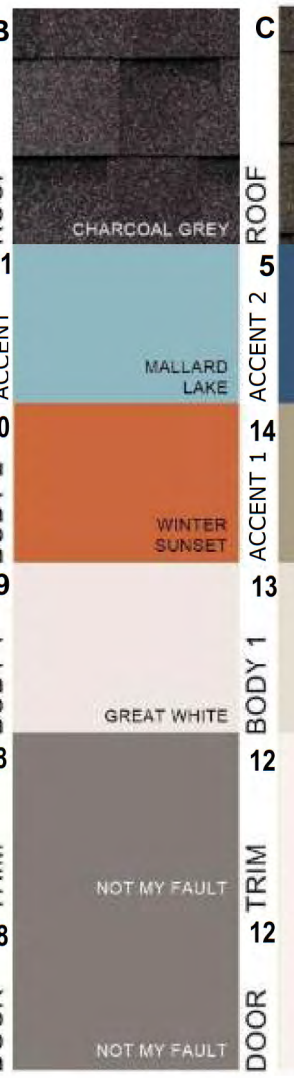
PAINT - KELLY MOORE
 ROOF SHINGLE - IKO CAMBRIDGE SERIES
 BRICK - EL DORADO STONE - TUNDRA BRICK
 SCONCE LIGHTING - ALLEN + ROTH - WALDORF
 CARPORT LIGHTING - SIGNIFY - DAYBRIGHT/CFI FLUXSTREAM
 CMU BLOCK - COLOR: 128 (STANDARD)
 FINISH: SPLIT FACE EXT, PRECISION INT.
 "DOOR" REFERS TO ENTRY DOORS AS WELL AS GARAGE DOORS,
 UNLESS NOTED OTHERWISE



COMMUNITY CENTER
COLOR PALETTE



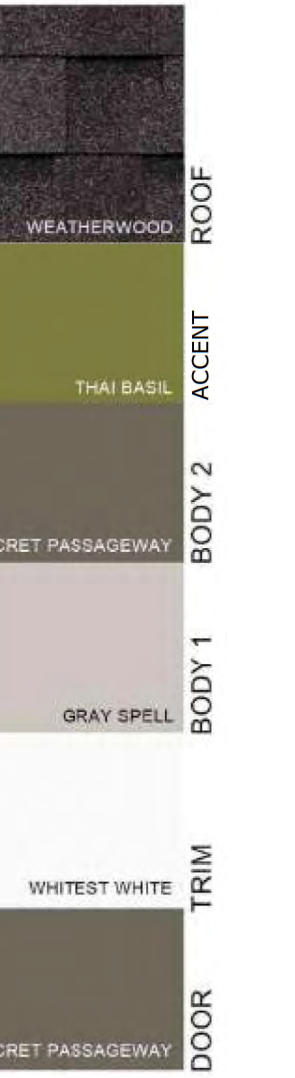
1
COLOR PALETTE



2
COLOR PALETTE



3
COLOR PALETTE



4
COLOR PALETTE

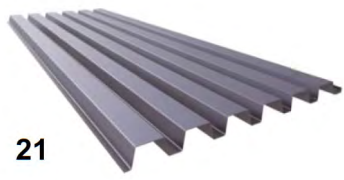
COLOR AND MATERIALS



19
BRICK



20
CHALK DUST



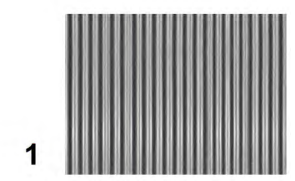
21
METAL ROOF DECKING



22
EXT. LIGHTING - WALL SCONCE



23
EXT. LIGHTING - CARPORT



1
CORRUGATED METAL SIDING



24
CMU BLOCK - PAINTED